

# AGENDA

## ARCHITECTURAL REVIEW BOARD MEETING

CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS

OCTOBER 29, 2024 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) OPEN FORUM

*This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

(III) ACTION AGENDA

(1) **SP2024-041 (HENRY LEE)**

Discuss and consider a request by Will Winkelmann of Winkelmann & Associates, Inc. on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Site Plan for General Retail Store and Restaurant (i.e. IKEA) on a 18.663-acre tract of land identified as a portion of Lot 1, Block B and Lot 1R, Block C, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 102 (PD-102) for Commercial (C) District land uses, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

(2) **SP2024-042 (ANGELICA GUEVARA)**

Discuss and consider a request by Joanne Vuckovic on behalf of the Pregnancy Resource Center of Lake Ray Hubbard for the approval of an Amended Site Plan for an existing Medical Office Building on a 0.32-acre parcel of land identified as Lot 1, Block A, Pregnancy Resource Center Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road, and take any action necessary.

(3) **SP2024-043 (BETHANY ROSS)**

Discuss and consider a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brockette of Vue Real Estate for the approval of a Site Plan for a Medical Office Building on a 8.4841-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on October 25, 2024 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** October 29, 2024  
**APPLICANT:** Will Winkelmann; *Winkelmann & Associates, Inc.*  
**CASE NUMBER:** SP2024-041; *Site Plan for Large Format Retailer (IKEA)*

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### **SUMMARY**

Discuss and consider a request by Will Winkelmann of Winkelmann & Associates, Inc. on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Site Plan for *General Retail Store and Restaurant (i.e. IKEA)* on a 18.663-acre tract of land identified as a portion of Lot 1, Block B and Lot 1R, Block C, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 102 (PD-102) for Commercial (C) District land uses, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

### **BACKGROUND**

The subject property was annexed by the City Council on December 3, 1985 by *Ordinance No. 85-69 [Case No. A1985-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the December 7, 1993 *Zoning Map*, a portion of the subject property was zoned Highway Commercial (HC) District at some point between annexation and December 6, 1993. This designation was later changed to a Light Industrial (LI) District between December 8, 1993 and April 5, 2005 according to the City's *Historic Zoning Maps*. On January 6, 2020, the City Council approved *Case No. P2019-048 (filed on April 9, 2021)* establishing the subject property as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition. On October 2, 2023, the City Council adopted *Ordinance No. 23-56 [Case No. Z2023-041]* changing the zoning of the subject property from an Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District. On October 21, 2024, the City Council approved a zoning change [*Case No. Z2024-035; Ordinance No. 24-42*] that entitled the subject property for a *Large Format Retailer*. The subject property has remained vacant since annexation.

### **PURPOSE**

On October 18, 2024, the applicant -- *Will Winkelmann of Winkelmann & Associates, Inc.* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing an ~108,517 SF *General Retail Store and Restaurant (i.e. IKEA)* on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is generally located at the northwest corner of Stodghill Road (*i.e. FM-3549*) and the IH-30 Westbound Frontage Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Justin Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 36.56-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Commercial Addition*) zoned Agricultural (AG) District. North of this parcel is a 120-foot railroad right-of-way, which is owned by the *M. K. & T. Railroad*. Beyond this are 11 tracts of land (*i.e. Tracts 1, 11, 13, 15, 22, 24, 25, 25-01, 25-2, 30, & 31 of the E. M. Elliott Survey, Abstract No. 77*) that are zoned Agricultural (AG) District and Single-Family Estate 1.5 (SFE-1.5) District. Eight (8) of these properties have existing single-family homes situated on them. Beyond this is Airport Road, which is designated as a M4U (*i.e. major collector, four [4] Lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are two (2) tracts of land (i.e. a portion of Lot 1, Block C, Rockwall Commercial Park Addition and Tract 5-1 of the J. Lockhart Survey, Abstract No. 134) that are zoned Light Industrial (LI) District. Both of these properties have existing industrial buildings situated on them. Beyond this is the westbound lanes of the IH-30 Frontage Road, followed by the main lanes of IH-30, and the eastbound lanes of the IH-30 Frontage Road.

East: Directly east of the subject property is Stodghill Road, which is identified as an A4D (i.e. major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant tracts of land (i.e. Tracts 10 & 10-3 of the R. Irvine Survey, Abstract No. 120) zoned Commercial (C) District. East of this are the City limits between the City of Rockwall and the City of Fate and the City of Mobile City.

West: Directly west of the subject property are multiple vacant parcels of land zoned Agricultural (AG) District, Light Industrial (LI) District, and Commercial (C) District. Beyond this is John King Boulevard, which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), and Exhibit 'G', *Development Standards*, of Planned Development District 102 (PD-102; Ordinance No. 24-42), a *General Retail Store*, a *Restaurant*, and *Warehouse/Distribution* are permitted *by-right* land uses on the subject property. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within Planned Development District 102 (PD-102) and the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=18.664-Acres; In Conformance
<i>Minimum Lot Width</i>	60-Feet	X= 1,156-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=522-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=43.5-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=13.35%; In Conformance
<i>Minimum Number of Parking Spaces</i>	361 Parking Spaces Required	X=467; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=25.33%; In Conformance

**TREESCAPE PLAN**

The treescape plan provided by the applicant indicates that the development will result in the removal of 143 caliper inches of trees. Based on the landscape plan provided by the applicant, the development is proposing to plant 644 caliper inches of trees on-site, which will satisfy the tree mitigation requirements of the Unified Development Code (UDC).

**CONFORMANCE WITH THE CITY'S CODES**

Based on the site plan provided by the applicant, the proposed *Large Format Retailer* (i.e. IKEA) will incorporate three (3) land uses. These land uses will be a *General Retail Store*, a *Restaurant*, and a *Warehouse/Distribution Center*. According to Article 13, *Definitions*, of the Unified Development Code (UDC), a *General Retail Store* is defined as "(a) facility or area for the retail sale of general merchandise or food to the public for direct consumption and not for wholesale. Typical general merchandise includes clothing and other apparel; equipment for hobbies or sports; gifts; flowers and household plants; dry goods; groceries, convenience, and specialty foods; toys; furniture; books and stationery; pets; drugs; hardware; and similar

consumer goods.” In addition, a *Restaurant* is defined as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on premise or off-premise and does not provide facilities that allow the serving and consumption of food in personal vehicles on or near the restaurant premises.” In this case, the *Large Format Retailer* (i.e. *IKEA*) primarily engages in the sale of home furnishings and goods, and incorporates an interior restaurant for customers. The proposed *Large Format Retailer* (i.e. *IKEA*) also includes a *Warehouse/Distribution Center* component, and according to Article 13, *Definitions*, of the Unified Development Code (UDC), *Warehouse/Distribution* is defined as “(a) building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment...” In this case, the *Warehouse/Distribution Center* is used as fulfillment center for customer that make purchases in the store and for online orders.

In reviewing Planned Development District 102 (PD-102) [*Ordinance No. 24-42*], the subject property is located within *Subdistrict A*, and is subject to specific requirements for landscaping, building location and setbacks, parking layout, and building material and articulation standards. The proposed site plan and landscape plans show conformance to the landscaping, parking, density and dimensional requirements. According to *Ordinance No. 24-42*, the building elevations “...shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict A* contained in *Exhibit ‘F’*...” of the ordinance. In this case, the proposed building elevations do generally conform to the building elevations depicted in *Exhibit ‘F’* of Planned Development District 102 (PD-102). In addition, the proposed site plan, landscape plans, and building elevations generally conform to all applicable requirements of the *General Commercial District Standards* and the *General Overlay District Standards* stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variance(s) and exception(s) being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant’s request generally conforms to the majority of the City’s codes and the requirements of Planned Development District 102 (PD-102) [*Ordinance No. 24-42*]; however, staff has identified the following variance(s) and exception(s):

- (1) *Construction Standards*. According to Subsection 04.01(A)(1), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “...parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.” In lieu of painting the TPO membrane to match the exterior wall -- *which is a typical request for commercial buildings* --, the applicant is proposing to cover the TPO with a black EPDM. EPDM is a black synthetic rubber membrane that adds additional water proofing around the parapet. Since this is a synthetic rubber membrane it is not conducive to painting; however, the proposed product should have a better aesthetic for any visible areas of the parapet compared to the stark white TPO membrane. With this being said, this request will require an *exception* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (2) *Sidewalks*. According to Section 2.14, *Parkways, Grades, and Sidewalks*, of the *Engineering Standards of Design and Construction Manual*, “(s)idewalks shall be provided for all streets.” In this case, the applicant is requesting to not install the sidewalk along the portion of Conveyor Street that was not abandoned as part of the establishment of Planned Development District 102 (PD-102). This portion is approximately 240-feet. This will require an *exception* from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” In addition, the code requires that the applicant provide two (2) compensatory measures that directly offset each requested variance and/or exception. In this case -- *and in lieu of providing the required sidewalk* --, the applicant is proposing to construct a five (5) foot sidewalk along the east side of the detention pond. This represents a 523-foot sidewalk that will connect the future *Urban Residential Style Condominiums* to the IH-30 Frontage Road. This request is compensatory to the requested exception in that it will [1] increase connectivity, and [2] will provide twice as much sidewalk as required. When considering this exception, staff should also point out that this request appears to be a good substitute to the ordinance requirements, which -- *if followed* -- would leave a 236-foot sidewalk that would terminate at the property line of the *Large*

*Format Retailer*. In addition, the applicant has indicated they prefer to install the sidewalk along the detention pond to reduce pedestrian interaction with the loading areas and truck dock at the rear of the *Large Format Retailer*. Taking into account the applicant's proposed compensatory requests and justifications, these requests appear to be justified; however, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

The Architectural Review Board (ARB) will review the proposed building elevations at the October 29, 2024 meeting, and will provide a recommendation to the Planning and Zoning Commission.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an ~108,517 SF *General Retail Store, Restaurant, and Warehouse/Distribution Center (i.e. IKEA)* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 10/18/2024

PROJECT NUMBER: SP2024-041  
PROJECT NAME: Site Plan for IKEA  
SITE ADDRESS/LOCATIONS: Northwest Corner of FM 3549 & I-30

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	10/18/2024	Needs Review

10/18/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Large Format Retailer on an 18.663-acre tract of land identified as Lot 1, Block B, Lot 1R, Block C, Rockwall Commercial Addition, and Lot 1, Block D, Rockwall Commercial Park Addition, zoned Planned Development District 102 (PD-102) for limited Commercial (C) District land uses, generally located north of the intersection of the IH-30 Frontage Road and Conveyor Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2024-041) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to establish lot lines, and establish or abandoned easements.

M.5 Is the building being constructed in phases? Based on the Planned Development District 102 (PD-102) ordinance, it appears the north portion of the building (north of the loading docks) is not being constructed at this time. If there are future phases, please delineate these areas and indicate them as Future Phase.

M.6 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

#### M.7 Site Plan.

- (1) Please provide the perimeter dimensions for the subject property. (Subsection 03.04.B, of Article 11, UDC)
- (2) Please indicate the distance between the building and the property lines. (Subsection 03.04.B, of Article 11, UDC)
- (3) Based on the changes to the Lot and Block designations identified with the Preliminary Plat, please update the site plan callouts in order to maintain consistency. (Subsection 03.04.B, of Article 11, UDC)
- (4) Please label the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04.B, of Article 11, UDC)
- (5) Please indicate the 5-foot sidewalk along Conveyor Street as detailed within the Planned Development District Ordinance. (PD-102)
- (6) Please provide a breakdown of the land use (e.g. Office, Retail, Restaurant...) square footages, and please indicate the number of outdoor seats. Staff needs to determine conformance to the parking standards established with the Planned Development District 102 (PD-102) ordinance. (PD-102)
- (7) Please indicate the type and depth of paving material(s), and provide a detail. (Subsection 03.02, of Article 06, UDC)
- (8) Please clarify how the "Outdoor Sales" area indicated on the site plan is being used. If it is merchandise for sale, this is considered incidental display, which must meet the requirements of Subsection 02.03(F)(6), of Article 04, UDC. Please contact staff if you have specific questions about these requirements. (Subsection 02.03(F)(6), of Article 04, UDC)
- (9) Please add a wing wall just north of the "employee parking" area at the rear of the building. See the staff mark-up for clarification on the location. (Article 08, UDC)
- (10) Please indicate the 10-foot utility easement followed by the 10-foot landscape buffer along Conveyor Street. (Engineering Standards of Design and Construction; Article 08, UDC)
- (11) Please indicate the 10-foot utility easement followed by the 20-foot landscape buffer along the IH-30 Frontage Road. (Engineering Standards of Design and Construction; Article 08, UDC)
- (12) All parking spaces are to be 9'x20'. (Engineering Standards of Design and Construction)
- (13) Please indicate if there is any existing fencing remaining or if there is any proposed fencing. Please indicate the height and material of any proposed fencing. (Subsection 08.02.F, of Article 08, UDC)
- (14) Please note that all roof top equipment (i.e. RTUs) must be fully screened in accordance with Subsection 01.05.C, of Article 05, UDC. (Subsection 01.05.C, of Article 05, UDC)
- (15) Please provide a note that there will be no above ground storage tanks or outside storage. (Subsection 01.05, of Article 05, UDC)
- (16) Please clarify the dumpster situation. Are the "Trash Bins and Recycling" at the rear of the building the only waste containers? They are required to be in an eight (8) foot masonry enclosure that matches the materials used on the primary structure? Please provide a note that the dumpsters shall drain into an oil water separator before entering the storm system. In addition, provide a detail (including elevations) of the dumpster enclosure. (Subsection 01.05, of Article 05, UDC)
- (17) All ground mounted signage may not be within a utility easement. Please verify that all signage is moved out of the utility easements. (Engineering Standards of Design and Construction)

#### M.8 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please indicate the pervious vs. impervious area for the development. (Subsection 01.01.B, of Article 05, UDC)
- (3) All canopy trees are required to be four (4) inch caliper at the time of planting. At this time, they are indicated to be three (3) inches on the landscape table. (Subsection 05.03.B, of Article 08, UDC)
- (4) All parking spaces shall be within 80-feet of a canopy tree. Please review the staff mark-up that shows where two (2) canopy trees will need to be located. (Subsection 05.03.E, of Article 08, UDC)
- (5) Please only provide the landscape buffer calculations for this development (i.e. IKEA). (Article 08, UDC)
- (6) The detention landscaping requirement are: one (1) canopy tree per 750 SF, and one (1) accent tree per 1,500 SF. In this case, there needs to be 24 more canopy trees and four (4) more accent trees. (Subsection 05.03.D, of Article 08, UDC)
- (7) The landscape buffer along the IH-30 Frontage Road requires two (2) canopy and four (4) accent trees per 100 linear feet. In this case, there needs to be one (1) more canopy tree and two (2) more accent trees. Please correct this. (PD-102)
- (8) Please identify visibility triangles on all lots for all driveway intersections and public streets. (Subsection 01.08, of Article 05, UDC)
- (9) Please provide a note that all irrigation will meet the requirements of the Unified Development Code (UDC). (Subsection 05.04, of Article 08, UDC)

#### M.9 Treescap Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)

M.10 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please better delineate the property line to aid in evaluating the plans conformance to the Unified Development Code (UDC) requirements. (Article 07, UDC)
- (3) Please note that up lighting is not permitted. (Subsection 03.03, of Article 07, UDC)
- (4) The light levels may not exceed 0.2 FC at any property line. Currently it appears that the southern property line does not meet this requirement. Please correct the plan to address this. (Subsection 03.03.G, of Article 07, UDC)

M.11 Building Elevations

- (1) Please provide a table indicating the percentage surface area for each of the proposed materials. This does not include doors or glazing. (Subsection 04.01, of Article 05, UDC)
- (2) Please move the tri-wing monopole to the signage plan. (Subsection 03.04.B, of Article 11, UDC)
- (3) Please clarify and provide a detail of sign PK\_12, as it appears it is in the truck dock area. (Subsection 04.01, of Article 05, UDC)
- (4) Please remove the Parking Memorizer Signs from the sign plan, as these were removed from the PD Ordinance. (PD-102)
- (5) Please clarify the type of CMU being proposed for the equipment screening and loading dock wing wall; light weight block and smooth faced CMU is prohibited. The wing wall should match the design/construction of the primary building (i.e. tilt wall). (Subsection 04.01, of Article 05, UDC)
- (6) Please provide a note that the back side of the parapet will be finished in the same material as the exterior facing façade. If the exterior wall is painted tilt wall, then the backside of the parapet shall be painted to match. (Subsection 04.01, of Article 05, UDC)

I.12 Revised and corrected plans are due by 3:00 PM on October 23, 2024.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/public hearing meeting will be held on October 29, 2024.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/14/2024	Approved w/ Comments

- 10/14/2024:
- 1. All parking spaces must be minimum 9'x20'
  - 2. All dumpster/trash/recycle/compactor areas shall require an oil/water separator that drains to the storm drainage system.
  - 3. Ensure all proposed fire hydrants have at least 5' of clearance from BOC when adjacent to a parking space.
  - 4. All fire hydrants and meters must be located within min 20' water easement.
  - 5. All parking spaces must be minimum 9'x20'
  - 6. Proposed retaining wall cannot be located within 10' utility easement along frontage.
  - 7. A min 5' sidewalk will be required along Conveyor St. The portion of Conveyor St. that will remain ROW will need to be reconstructed.
  - 8. No trees to be with 5' of any public water, sewer, or storm line that is less than 10" or structure.
  - 9. No trees to be with 5' of any public water, sewer, or storm line that is less than 10" or structure.
  - 10. No trees to be with 5' of any public water, sewer, or storm line that is less than 10" or structure.

General comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.



- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines will need to be placed underground.
- A TIA is required. Review fees apply. TIA must be approved before engineering permit may be issued. Improvements identified within TIA must be constructed.
- An Infrastructure study is required. Review fees apply. Improvements identified within the infrastructure must be constructed at a minimum.
- City driveway spacing requirements must be met along Justin. TXDOT driveway spacing requirements must be met along I-30 frontage and FM 3549 (Stodghill).
- Additional comments may be provided at time of Engineering.

#### Drainage Items:

- Detention is required. Drainage calculations based on property zoning, not land area use. Must detain to pre-developed flows.
- Existing flow patterns must be maintained.
- Detention ponds must be in a drainage easement located at the 2' freeboard elevation.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- An emergency spillway is required for the detention pond.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to detention pond. Minimum 2' above 100-year WSEL.
- All dumpster areas shall drain to an oil/water separator and then into the storm system.
- For drainage areas over 20 acres, the drainage design and study is sent to 3rd party consultant for review. Review fees apply.
- Must comply with the results of the drainage study, once completed.

Property drains in multiple directions. Multiple detention systems may be required depending on proposed drainage patterns. Drainage may not increase flowing off site from any basin.

#### Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Any utility connects across existing roadways must be completed by dry bore.
- Any utility work in TXDOT ROW will require TxDOT permit.
- Must install 12" water mains per City master plans. Dedicate easements. - Must continue 12" sewer main along Justin Road.
- Must comply with the results of the Water/Sewer Infrastructure study, once completed.
- Commercial sanitary sewer service line size is minimum 6" and must connect to a manhole.
- Water to be 10' separated from storm and sewer lines.
- Must install all water and sanitary sewer per Master Water and Wastewater Master Plan that is within or adjacent to property.
- 12" Water main must be connected from existing 12" along Conveyor to Water main along IH30.
- 10' utility easement required along remaining Conveyor ROW.

#### Roadway Paving Items:

- All new paving to be steel reinforced concrete.
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking allowed without a city approved turn around.
- Parking to be 20'x9' min. All drive aisles to be a minimum of 24' in width.

- Sidewalk required along public and TXDOT roadways.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Must build the second half of Justin Road per the City master thoroughfare plans, along with street lights, irrigation sleeve, and sidewalks
- No median cuts will be allowed in FM 3549 (N. Stodghill Road) due to driveway spacing requirements.
- TXDOT spacing requirements along I-30 for 40MPH posted speed limit is 305 ft and you may not have a driveway in the ramp gore area. Driveway spacing from gore must meet TxDOT standards.
- TxDOT permit will be submitted by the City.
- Must comply with the results of the TIA, once completed.
- Must construct the remaining width (35' B-B) of Conveyor
- All median (including median nose) construction must meet City requirements

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/18/2024	Needs Review

10/18/2024: \* ONLY 8 FLAGS ARE ALLOWED - SITE PLAN INDICATES 12 FLAG POLE SIGNS

\* WALL SIGNS -

- NORTH ELEVATION - REDUCE WALL SIGNAGE TO 5% - CURRENTLY EXCEEDS WITH 5.5%
- SOUTH ELEVATION - REDUCE WALL SIGNAGE TO 15% - CURRENTLY EXCEEDS WITH 17.07%
- EAST ELEVATION - ALLOWED 20% WALL SIGNAGE - ELEVATION STATES 15%

\* NAVIGATION TOWER SIGN - COMPLIES WITH DRAFT ORDINANCE

\* BANNER SIGN - COMPLIES WITH DRAFT ORDINANCE

\* SHOPPING CENTER SIGN ILLUSTRATION WAS NOT PROVIDED BUT WILL NEED TO MEET THE CRITERIA IN THE DRAFT ORDINANCE

\* ALL OTHER SIGNAGE IS REQUIRED TO COMPLY WITH MEASUREMENTS IN THE DRAFT ORDINANCE.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/10/2024	Needs Review

10/10/2024: Provide additional details on the building construction to determine compliance with the exception for the following code section or provide an aerial fire apparatus access road that meets the location requirements:

Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. Exception: Where approved by the fire code official, buildings of Type IA, Type IB or Type IIA construction equipped throughout with an automatic sprinkler system in accordance with IFC Section 903.3.1.1 and having fire fighter access through an enclosed stairway with a Class I standpipe from the lowest level of fire department vehicle access to all roof surfaces.

One or more of the required aerial apparatus access routes meeting this condition shall be located not less than 15 feet and not greater than 30 feet from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official.

Show the proposed locations for the Fire Department Connections.

Per NFPA 14 10.7.2.2, a minimum of two FDCs shall be provided for each zone for buildings exceeding 900 ft perimeter distance

The FDCs shall be located on opposite corners of the building closest to the fire department vehicle access. Where FDCs cannot be located on opposite corners, they shall be separated to the greatest extent possible.

FDCs shall be visible and recognizable from the street or the nearest point of the fire department apparatus access.

FDCs shall be located within 50 ft of the street or the nearest point of fire department apparatus access.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Olesya Powers	10/18/2024	Approved w/ Comments

10/18/2024: Contact Lance Singleton for Addressing. lsingleton@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/09/2024	Approved

No Comments

CC #2021000008470

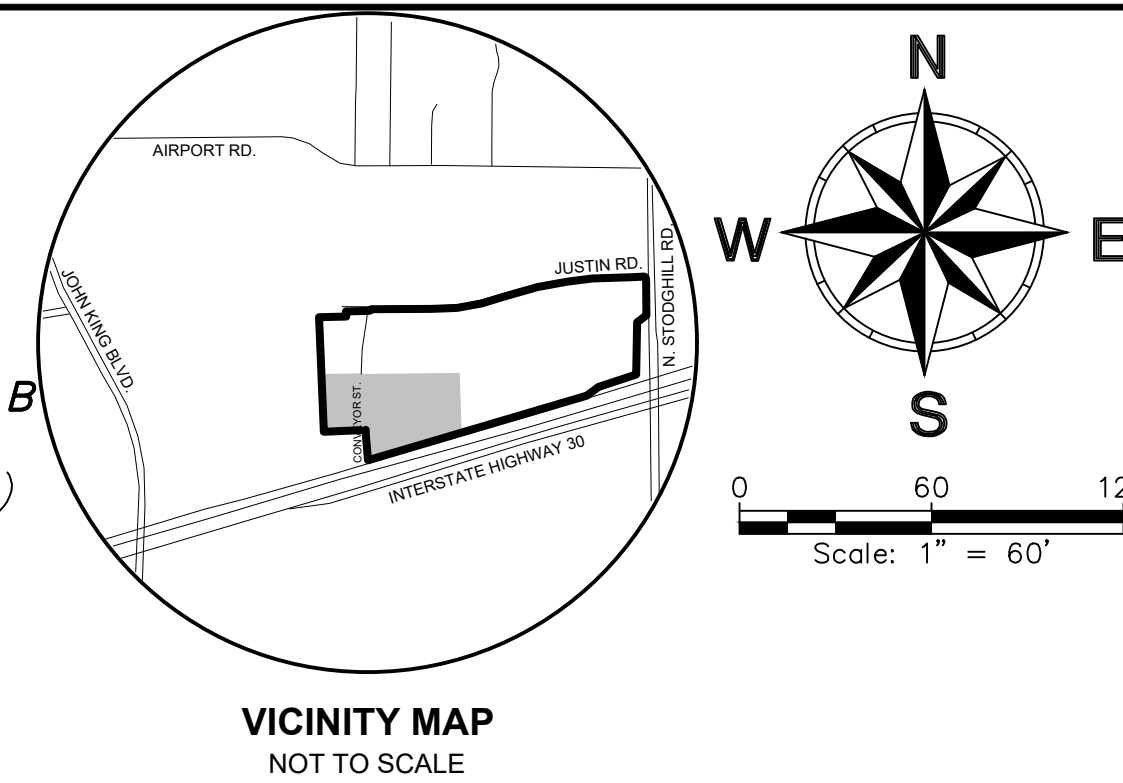
LEGEND	
	PROPERTY BOUNDARY/R.O.W.
	FIRE LANE CONCRETE PAVEMENT

LOT 1R-A, BLOCK B  
4.639 AC.  
(202,072 S.F.)

**SITE PLAN NOTES:**

- DIMENSIONS ARE TO FACE OF CURB OTHERWISE NOTED.
- ALL NEW PAVEMENT IS CONCRETE.
- TYPICAL PARKING STALL DIMENSIONS ARE AS FOLLOWS, UNLESS OTHERWISE NOTED:  
-TYPICAL PARKING SPACES: 9'x20'  
-CUSTOMER LOADING PARKING SPACES: 10'x20'  
-FAMILY SPACES: 12'x20'  
-ADA VAN SPACE: 8'x20' & 8' AISLE  
-ADA STANDARD SPACE: 9'x20' & 5' AISLE  
-EV PARKING SPACE: 9'x20' & 3' AISLE
- FRONT LANDSCAPE BUFFER: 20'
- FRONT BUILDING SETBACK: 25'
- MINIMUM SIDE & REAR SETBACKS: 10'

LOT 2, BLOCK B  
10.924 AC.  
(475,849 S.F.)



General Site Data	
Zoning	
Land Use(s)	
Lot Area (square feet)	
Building Footprint	
Building Height (feet)	
Building Height (feet)	
Building Lot Coverage	
Floor Area Ratio (Front)	
Parking	
Parking Ratio (Proposed)	
Required Parking (Minimum)	
Provided Parking (Minimum)	
Accessible Parking	
Accessible Parking	

- General Items:**
- Must meet City 2023 Standards of Design and Construction
  - 4% Engineering Inspection Fees
  - Impact Fees (Water, Sewer, Roadway).
  - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
  - Retaining walls 3' and over must be engineered.
  - All retaining walls (18' or taller) must be rock or stone face. No smooth concrete walls.
  - No signage is allowed within easements or ROW.
  - Required 10' utility easement along all street frontages.
  - All utilities must be underground. Existing overhead utility lines will need to be placed underground.
  - A TIA is required. Review fees apply. TIA must be approved before engineering permit may be issued. Improvements identified within TIA must be constructed.
  - An Infrastructure study is required. Review fees apply. Improvements identified within the infrastructure must be constructed at a minimum.
  - City driveway spacing requirements must be met along Justin. TXDOT driveway spacing requirements must be met along I-30 frontage and FM 3549 (Stodghill).
  - Additional comments may be provided at time of Engineering.

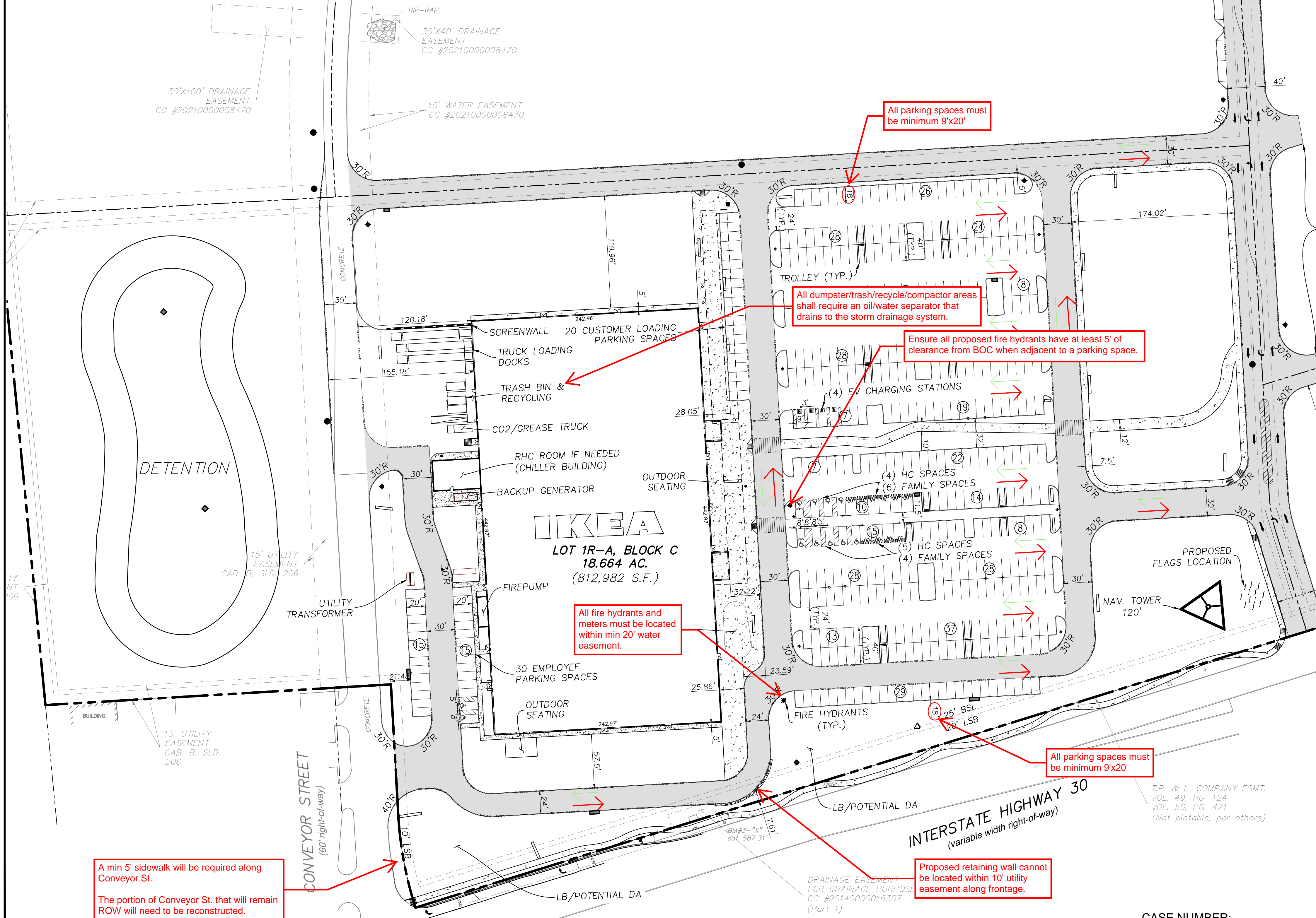
- Drainage Items:**
- Detention is required. Drainage calculations based on property zoning, not land area use. Must detain to pre-developed flows.
  - Existing flow patterns must be maintained.
  - Detention ponds must be in a drainage easement located at the 2' freeboard elevation.
  - No vertical walls allowed in detention easement. Max 4:1 side slopes.
  - No public water or sewer allowed within the detention easement.
  - An emergency spillway is required for the detention pond.
  - The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
  - No grate inlets allowed
  - 100-year WSEL must be called out for detention ponds.
  - FFE for all buildings must be called out when adjacent to detention pond. Minimum 2' above 100-year WSEL.
  - All dumpster areas shall drain to an oil/water separator and then into the storm system.
  - For drainage areas over 20 acres, the drainage design and study is sent to 3rd party consultant for review. Review fees apply.
  - Must comply with the results of the drainage study, once completed. Property drains in multiple directions. Multiple detention systems may be required depending on proposed drainage patterns. Drainage may not increase flowing off site from any basin.

- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
  - Public sewer to be 8" minimum
  - Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
  - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
  - Min 20' utility easements.
  - Any utility connects across existing roadways must be completed by dry bore.
  - Any utility work in TXDOT ROW will require TxDOT permit.
  - Must install 12" water mains per City master plans. Dedicate easements.
  - Must continue 12" sewer main along Justin Road.
  - Must comply with the results of the Water/Sewer Infrastructure study, once completed.
  - Commercial sanitary sewer service line size is minimum 6" and must connect to a manhole.
  - Water to be 10' separated from storm and sewer lines.
  - Must install all water and sanitary sewer per Master Water and Wastewater Master Plan that is within or adjacent to property.
  - 12" Water main must be connected from existing 12" along Conveyor to Water main along IH30.
  - 10' utility easement required along remaining Conveyor ROW.

- Roadway Paving Items:**
- All new paving to be steel reinforced concrete.
  - Fire lane to be 24' wide and in a platted easement.
  - No dead-end parking allowed without a city approved turn around.
  - Parking to be 20'x9' min. All drive aisles to be a minimum of 24' in width.
  - Sidewalk required along public and TXDOT roadways.
  - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
  - Must build the second half of Justin Road per the City master thoroughfare plans, along with street lights, irrigation sleeve, and sidewalks
  - No median cuts will be allowed in FM 3549 (N. Stodghill Road) due to driveway spacing requirements.
  - TXDOT spacing requirements along I-30 for 40MPH posted speed limit is 305 ft and you may not have a driveway in the ramp gore area. Driveway spacing from gore must meet TXDOT standards.
  - TXDOT permit will be submitted by the City.
  - Must comply with the results of the TIA, once completed.
  - Must construct the remaining width (35' B-B) of Conveyor
  - All median (including median nose) construction must meet City requirements

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
  - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

OWNERS: ROCKWALL 549/I30 PARTNERS, LP & CONVEYOR I30 PARTNERS, LP 8750 N CENTRAL EXPY DALLAS, TEXAS 75231	
DEVELOPER: IKEA 400 ALAN WOOD ROAD CONSHOHOCKEN, PA 19428 TEL: (610) 834-0180	



A min 5' sidewalk will be required along Conveyor St.  
The portion of Conveyor St. that will remain ROW will need to be reconstructed.

All fire hydrants and meters must be located within min 20' water easement.

All dumpster/trash/recycle/compactor areas shall require an oil/water separator that drains to the storm drainage system.

All parking spaces must be minimum 9'x20'

Ensure all proposed fire hydrants have at least 5' of clearance from BOC when adjacent to a parking space.

All parking spaces must be minimum 9'x20'

Proposed retaining wall cannot be located within 10' utility easement along frontage.

CIVIL ENGINEER	Winkelmann & Associates, Inc.	6. 10-08-2024	SITE PLAN	1
CONSULTING CIVIL ENGINEERS		NWC OF I-30 & STODGILL RD. ROCKWALL, TEXAS 75087		
6750 HILGREET PLAZA DR. SUITE 215 DALLAS, TEXAS 75248 Phone: (972) 490-7090 Fax: (972) 490-7098 E-mail: info@wainc.com www.wainc.com				
APPROV	REVISION	DATE	No.	







# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Northwest corner of FM 3549 & I-30

SUBDIVISION Rockwall Commercial

LOT 1, 1R, 1 BLOCK A,B,C

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE Vacant

PROPOSED ZONING Planned Development

PROPOSED USE Large Format Retail

ACREAGE 18.663

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ROCKWALL 549/I-30 PARTNERS LP / CONVEYOR I-30 PARTNERS LP

APPLICANT Winkelmann & Associates, Inc.

CONTACT PERSON JAMES J. MELINO

CONTACT PERSON Will Winkelmann

ADDRESS 8750 N. CENTRAL EXPRESSWAY  
SUITE 1735

ADDRESS 6750 Hillcrest Plaza Dr.

Suite 215

CITY, STATE & ZIP DALLAS, TX 75231

CITY, STATE & ZIP Dallas, TX 75230

PHONE 214-532-3924

PHONE 214-549-7296

E-MAIL jim@CAMBRIDGECOS.COM

E-MAIL will@winkelmann.com

### NOTARY VERIFICATION [REQUIRED]

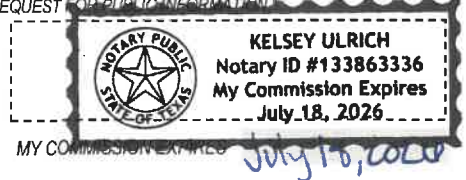
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James J. Melino, Authorized Representative of [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: Rockwall 549/I-30 Partners, L.P. and Conveyor/I-30 Partners, L.P.

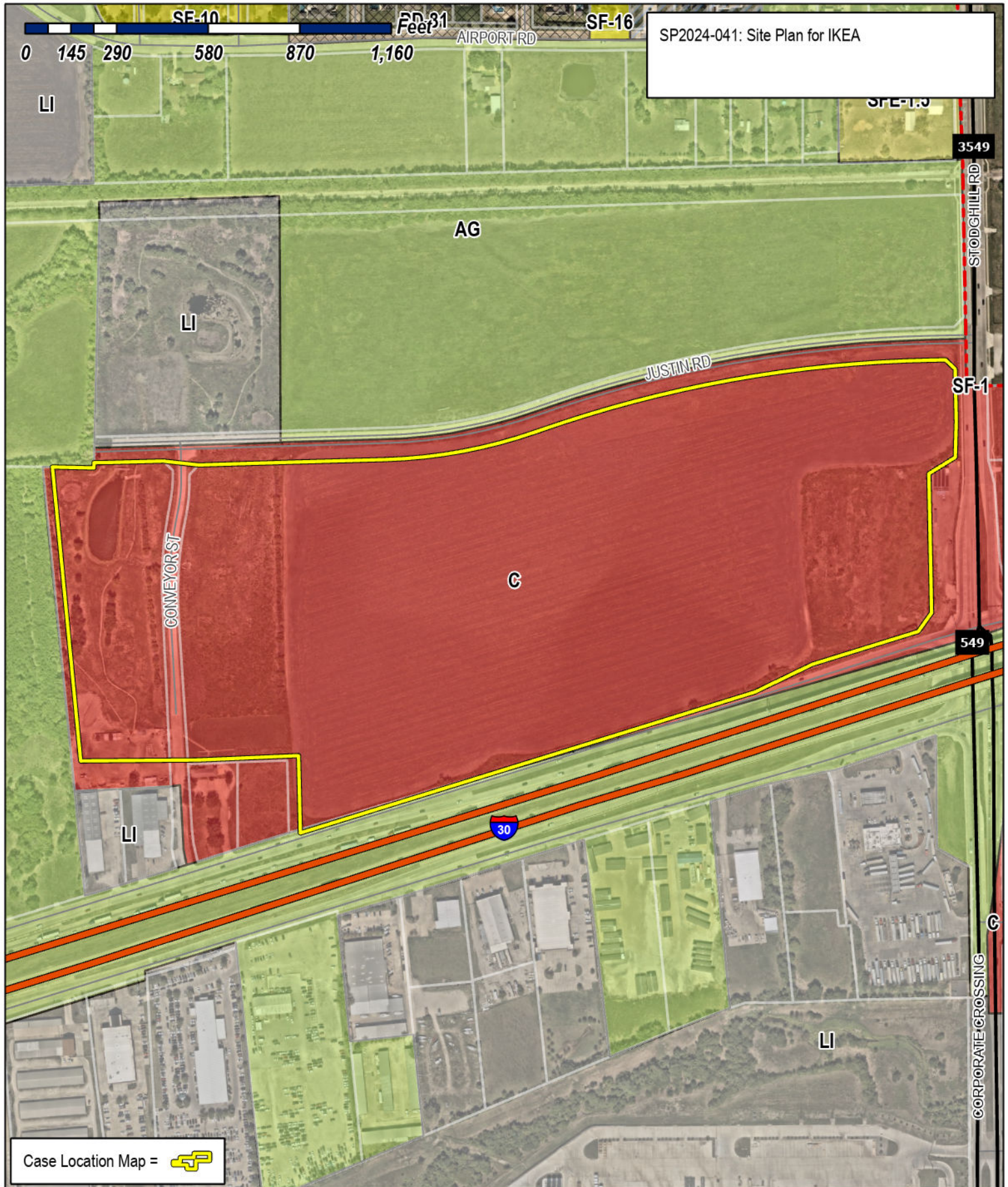
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 4th DAY OF September, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September, 2024.

OWNER'S SIGNATURE *James J. Melino*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS *Kelsey Ulrich*





SP2024-041: Site Plan for IKEA

Case Location Map = 



# City of Rockwall

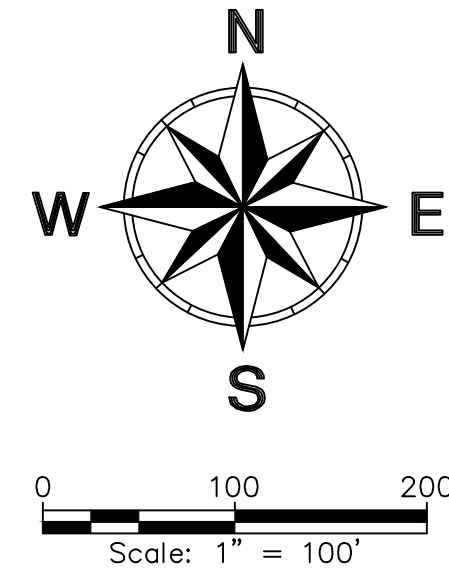
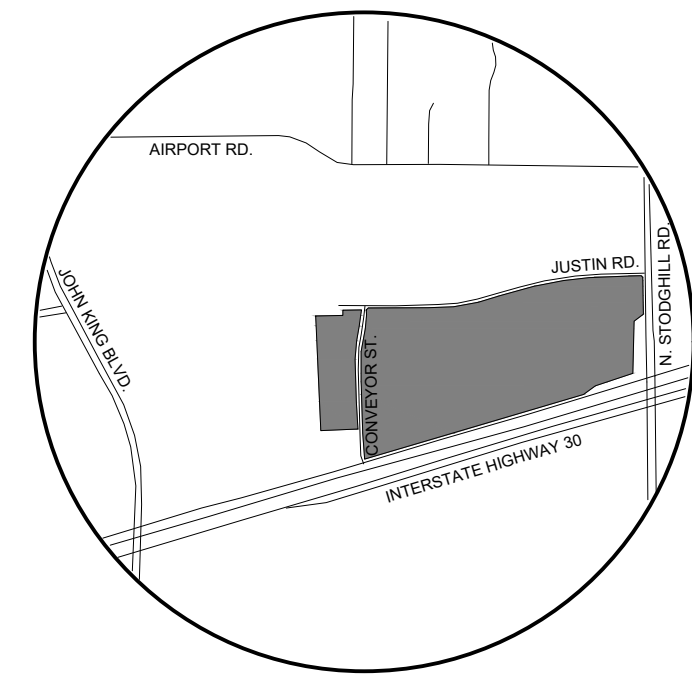
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



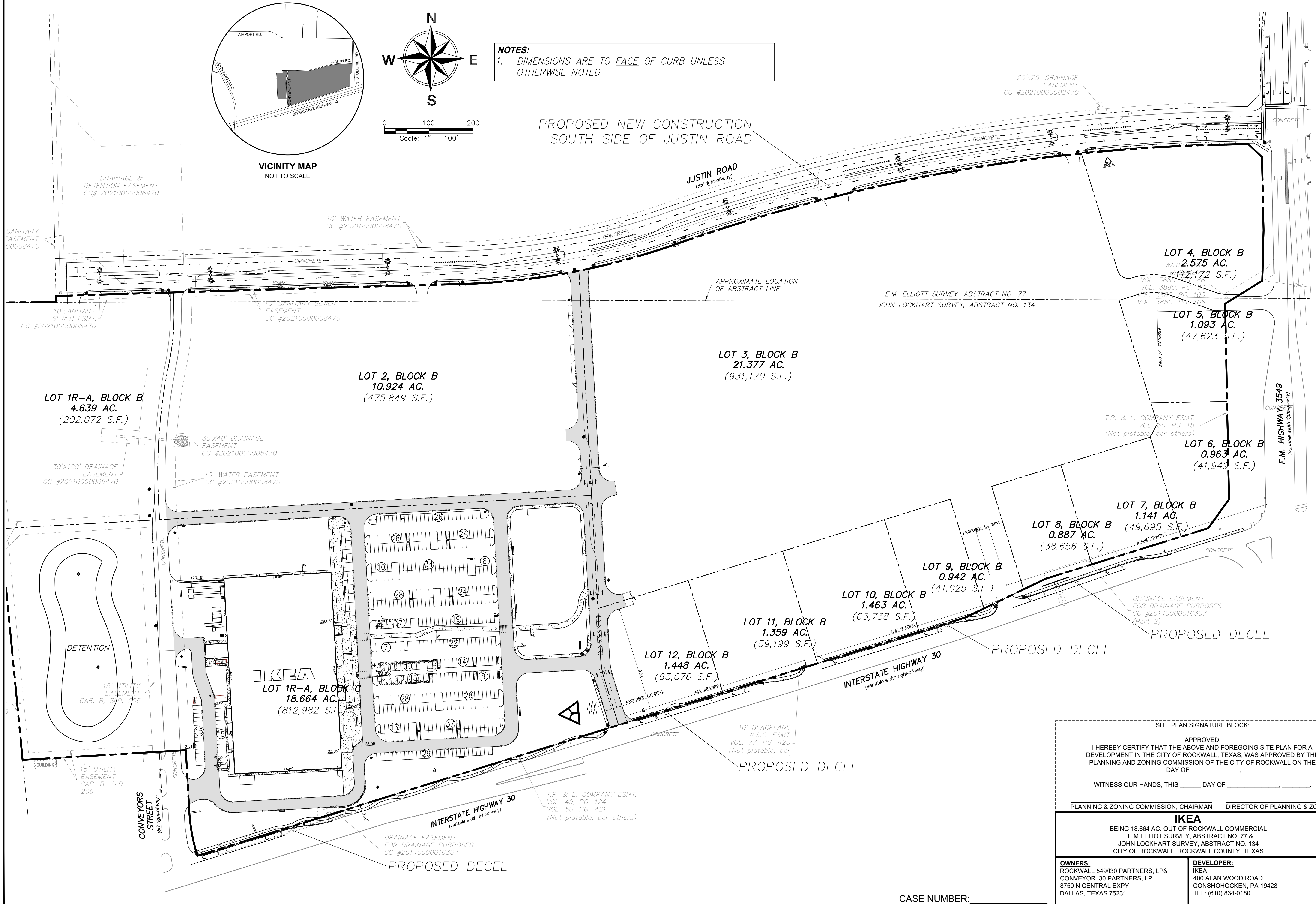






**NOTES:**  
 1. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

**PROPOSED NEW CONSTRUCTION SOUTH SIDE OF JUSTIN ROAD**



SITE PLAN SIGNATURE BLOCK:  
 APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_  
 WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING & ZONING  
**IKEA**  
 BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL  
 E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 &  
 JOHN LOCKHART SURVEY, ABSTRACT NO. 134  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNERS:**  
 ROCKWALL 549/130 PARTNERS, LP &  
 CONVEYOR 130 PARTNERS, LP  
 8750 N CENTRAL EXPY  
 DALLAS, TEXAS 75231

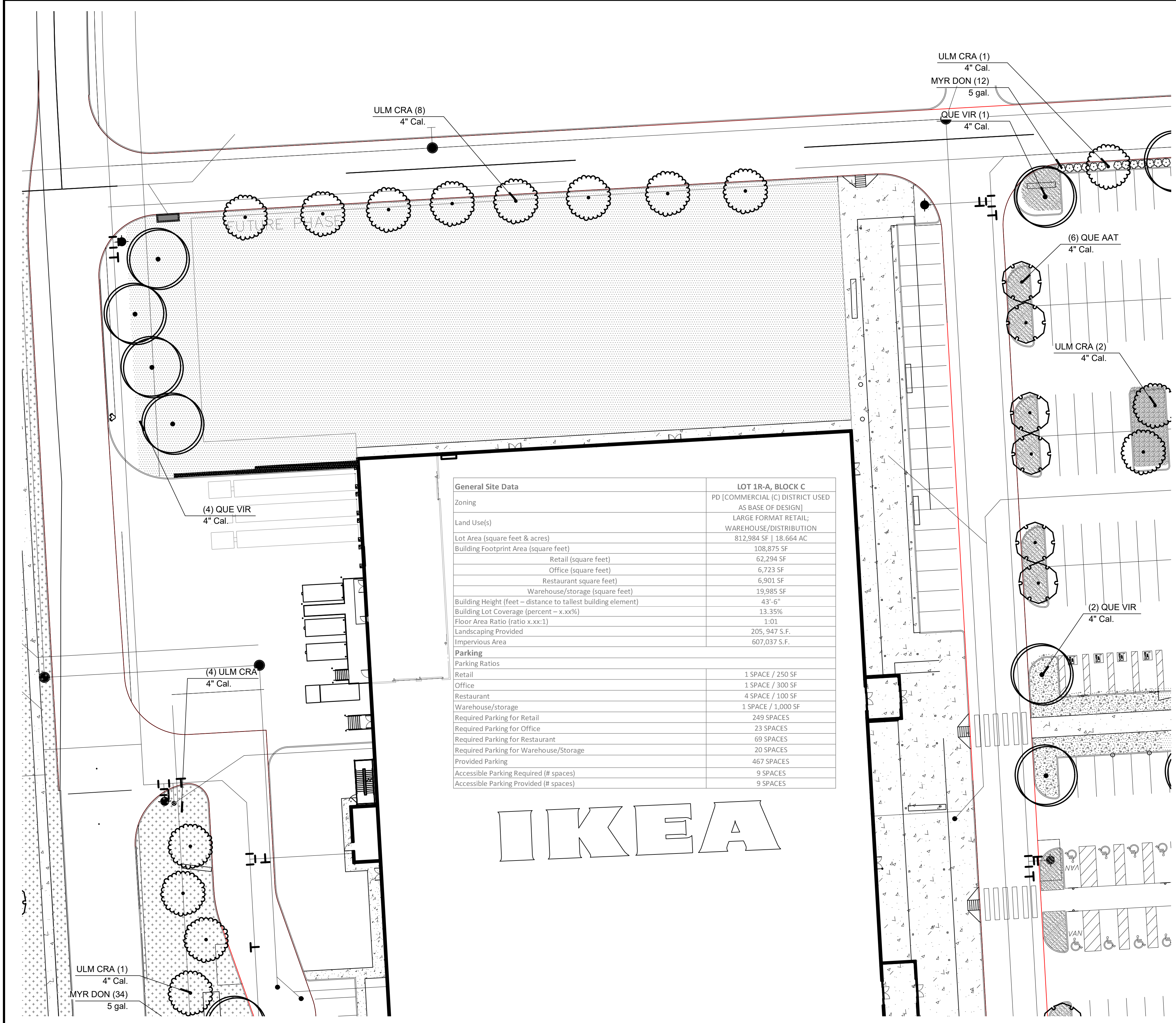
**DEVELOPER:**  
 IKEA  
 400 ALAN WOOD ROAD  
 CONSHOHOCKEN, PA 19428  
 TEL: (610) 834-0180

CASE NUMBER:

<b>CIVIL ENGINEER:</b> <b>Winkelmann &amp; Associates, Inc.</b>  CONSULTING CIVIL ENGINEERS & SURVEYORS 6750 HILGREET PLAZA DRIVE, SUITE 215 (972) 490-7090 Texas Engineer Registration No. 89 (972) 490-7090 Texas Surveyor Registration No. 107866-00 Contractor # 2226, Measurement & Associates, Inc.	No.	1.
	DATE	
	REVISION	
<b>OVERALL CITY SITE PLAN</b> NWC OF I-30 & STODGILL RD. ROCKWALL, TEXAS 75087		<b>1</b>







General Site Data		LOT 1R-A, BLOCK C PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]	
Zoning		LARGE FORMAT RETAIL; WAREHOUSE/DISTRIBUTION	
Land Use(s)		812,984 SF   18.664 AC	
Lot Area (square feet & acres)		108,875 SF	
Building Footprint Area (square feet)		62,294 SF	
Retail (square feet)		6,723 SF	
Office (square feet)		6,901 SF	
Restaurant (square feet)		19,985 SF	
Warehouse/storage (square feet)		43'-6"	
Building Height (feet - distance to tallest building element)		13.35%	
Building Lot Coverage (percent - x.xx%)		1:01	
Floor Area Ratio (ratio x.xx:1)		205,947 S.F.	
Landscape Provided		607,037 S.F.	
Impervious Area			
<b>Parking</b>			
Parking Ratios			
Retail		1 SPACE / 250 SF	
Office		1 SPACE / 300 SF	
Restaurant		4 SPACE / 100 SF	
Warehouse/storage		1 SPACE / 1,000 SF	
Required Parking for Retail		249 SPACES	
Required Parking for Office		23 SPACES	
Required Parking for Restaurant		69 SPACES	
Required Parking for Warehouse/Storage		20 SPACES	
Provided Parking		467 SPACES	
Accessible Parking Required (# spaces)		9 SPACES	
Accessible Parking Provided (# spaces)		9 SPACES	

IKEA

REF SHEET L-5 FOR PLANT LEGEND

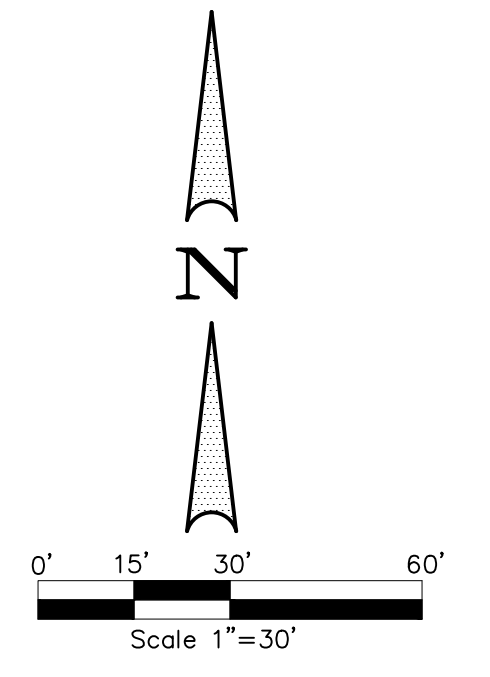
**CAUTION!!!**  
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.  
TEXAS EXCAVATION SAFETY SYSTEM (TESS)  
1-800-344-8377  
TEXAS ONE CALL SYSTEMS  
1-800-245-4545  
LONE STAR NOTIFICATION CENTER  
1-800-669-8344 EXT. 5

BEFORE YOU DIG...

CITY OF ROCKWALL LANDSCAPE REQUIREMENTS		
LANDSCAPE BUFFER	10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER	
	REQUIRED	PROVIDED
STREET LANDSCAPING	1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE	
	REQUIRED (NORTH)	PROVIDED
	1115'/50 = 22 TREES	XX TREES
	REQUIRED (SOUTH)	PROVIDED
	1156'/50 = 23 TREES	23 TREES
	REQUIRED (EAST)	PROVIDED
PARKING LOT LANDSCAPING	5% OR 200 SF (WHICHEVER IS GREATER) IN INTERIOR LANDSCAPING	
	REQUIRED	PROVIDED
	204,189 X 5% = 10,210 SF	16,529 SF
	IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES	
	REQUIRED	PROVIDED
	448 SPACES/10 = 45 TREES	45 NEW TREES
PARKING LOT TREES	ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE	
	REQUIRED	PROVIDED
LANDSCAPE AREA	812,982 X 15% = 121,947 SF	
	REQUIRED	PROVIDED
LANDSCAPE AREA	92,163 X 50% = 46,082 SF	
	REQUIRED	PROVIDED
DETENTION AREA REQUIRED TREES	ONE (1) TREE PER 750 SQ FT OF DETENTION AREA	
	REQUIRED	PROVIDED
OVERLAY DISTRICT LANDSCAPE REQUIREMENTS	(2) 4" CANOPY TREES AND (4) ACCENT TREES FOR EACH 100' OF STREET FRONTAGE	
	REQUIRED	PROVIDED
STREET LANDSCAPING	1156'/100 X 2 = 23 TREES	
	REQUIRED	PROVIDED
PARKING LOT TREES	1156'/100 X 4 = 46 ACCENT TREES	
	REQUIRED	PROVIDED
DETENTION AREA REQUIRED TREES	56,250 SF / 750 = 75 TREES	
	REQUIRED	PROVIDED
LANDSCAPE AREA	56,250 SF / 1500 = 38 TREES	
	REQUIRED	PROVIDED
PARKING LOT TREES	50 TREES	
	REQUIRED	PROVIDED
LANDSCAPE AREA	53 TREES	
	REQUIRED	PROVIDED
STREET LANDSCAPING	20' LANDSCAPE BUFFER	
	REQUIRED	PROVIDED
PARKING LOT TREES	BUILT UP BERM AND/OR SHRUBS 30" - 48" MAX.	
	REQUIRED	PROVIDED

- PLANTING NOTES:**
- PRIOR TO PLANTING, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO APPROVE NEW TREES ON SITE. LANDSCAPE ARCHITECT SHALL MAKE ONE TRIP TO SITE TO INSPECT TREES. ALL TREES SHALL BE STORED AND HELED IF REQUIRED PRIOR TO CONTACTING LANDSCAPE ARCHITECT FOR INSPECTION.
  - ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
  - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
  - ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
  - ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
  - CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
  - MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
  - PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
  - SEE DETAIL SHEET L-8 FOR PLANTING DETAILS.
  - CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
  - EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE WITH APPROVAL OF OWNER AND CITY ARBORIST. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES, AS WELL AS BRANCHES THAT OBSTRUCT SIGN VISIBILITY. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
  - QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
  - INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
  - INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURER'S INSTRUCTIONS ON ALL GROUNDCOVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
  - AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
  - BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN.)
  - PRIOR TO TREE PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER.

**NOTE:**  
NO LANDSCAPE PLANTINGS WITHIN 18" OF PARKING LOT CURBS.



- NOTE:**
- NO TREES SHALL BE PLANTED WITHIN 5' (HORIZONTALLY) FROM ANY PUBLIC UTILITY
  - FOR ALL PLANTING ALONG 18' (LENGTH PARKING SPACES: ALL PLANTS MUST BE PLANTED A MINIMUM OF 4' FROM BACK OF CURB>

CASE NUMBER: SP2024-041

**FAIN • CUPPETT**  
LANDSCAPE ARCHITECTS, LLC  
8233 Mid Cities Blvd., Suite B  
North Richland Hills, TX 76182-4761 817-479-0730  
PARKS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 10/24/24, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING & ZONING

BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNERS:**  
ROCKWALL 549/130 PARTNERS, LP & CONVEYOR 130 PARTNERS, LP  
8750 N CENTRAL EXPY  
DALLAS, TEXAS 75231

IKEA  
400 ALAN WOOD ROAD  
CONSHOHOCKEN, PA 19428  
TEL: (610) 834-0180

LANDSCAPE PLAN

NWC OF I-30 & STODGILL RD.  
ROCKWALL, TEXAS 75087

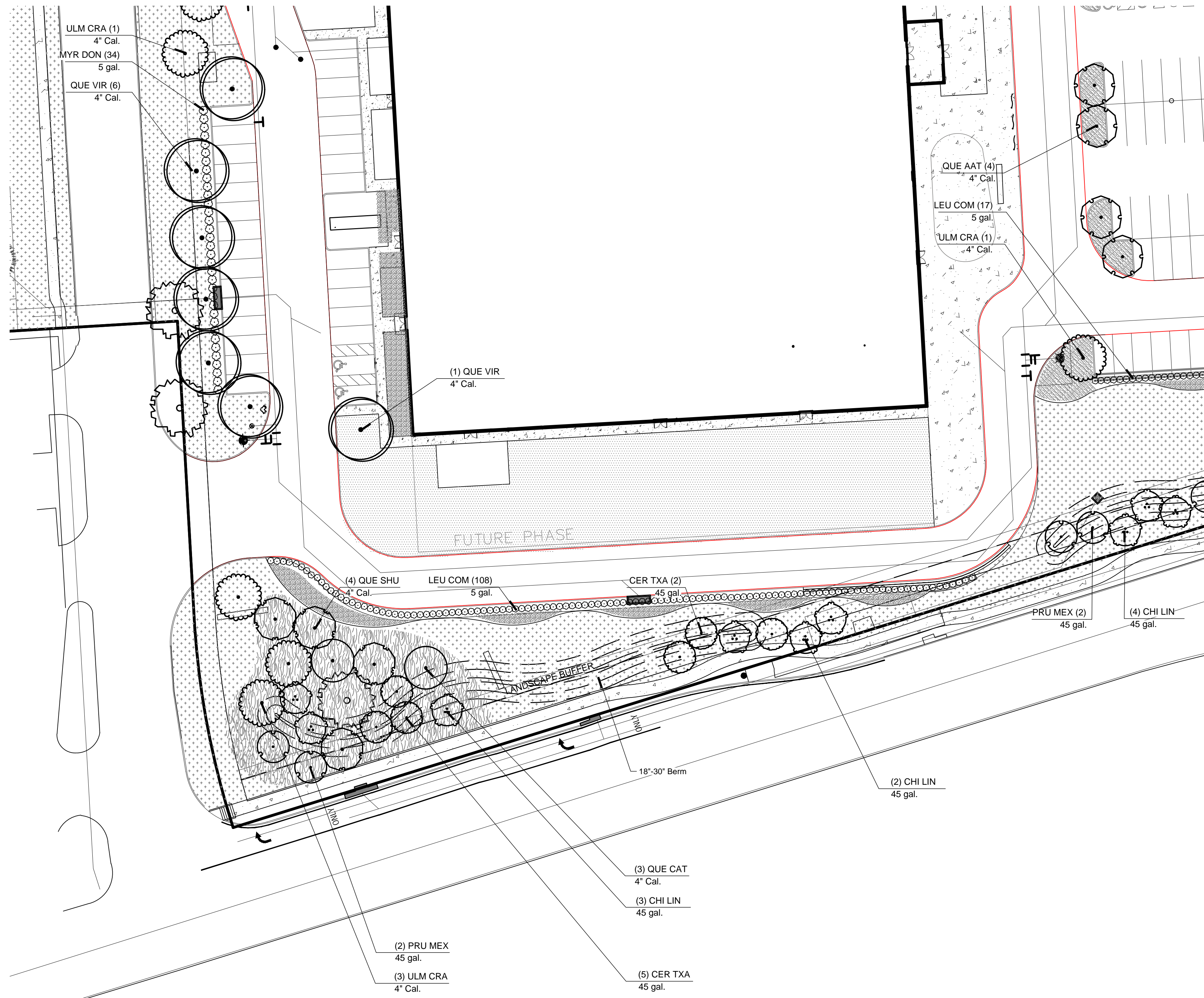
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Winkelman & Associates, Inc.  
CONSULTING CIVIL ENGINEERS ■ SURVEYORS  
8750 HILDBEST PLAZA DR., SUITE 215 (972) 492-7090 FAX (972) 492-7099 FAX  
Texas Engineers Registration No. 89,066-01 Texas Surveyors Registration No. 20,066-01  
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10/24/24



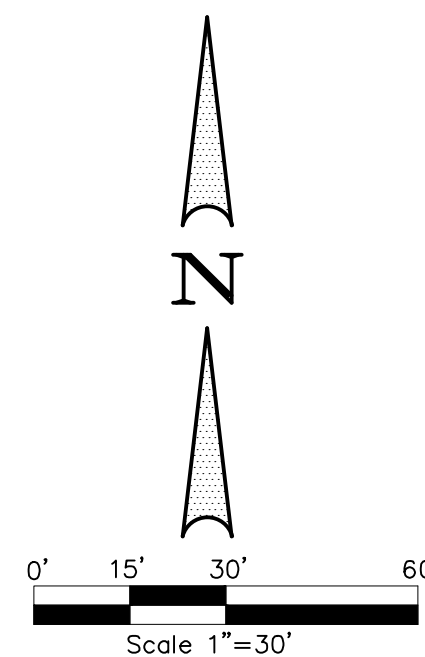


REF SHEET L-5 FOR PLANT LEGEND

**CAUTION!!!**  
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG:  
 TEXAS EXCAVATION SAFETY SYSTEM (TESS)  
 1-800-344-8377  
 TEXAS ONE CALL SYSTEMS  
 1-800-245-4545  
 LONE STAR NOTIFICATION CENTER  
 1-800-669-8344 EXT. 5



BEFORE YOU DIG...



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**OWNERS:**  
 ROCKWALL 549/130 PARTNERS, LP&  
 CONVEYOR 130 PARTNERS, LP  
 8750 N CENTRAL EXPY  
 DALLAS, TEXAS 75231

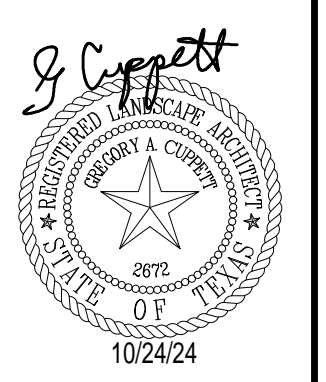
IKEA  
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 TEL: (610) 834-0180

LANDSCAPE PLAN  
 NWC OF I-30 & STODGILL RD.  
 ROCKWALL, TEXAS 75087

L-4

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**Winkelmann & Associates, Inc.**  
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS  
 6750 HILDEBERT PLAZA DRW. SUITE 215 (972) 482-7999 FAX (972) 482-7999  
 Texas Engineers Registration No. 89 00000001  
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SECTION 02830

TREES SHRUBS, AND GROUNDCOVERS

PART I GENERAL

1.01 DESCRIPTION OF WORK

A. Scope

1. Bed prep
2. Metal edging
3. Topsoil
4. Planting
5. Mulching
6. Guarantee

B. Related Work Specified Elsewhere

1. General Requirements –All locations
2. Section 02740 –Irrigation Trenching
3. Section 02750 –Irrigation
4. Section 02800 – Lawns

1.02 QUALITY ASSURANCE

A. Contractor Qualifications

Minimum of three (3) years experience on projects of similar characteristics and size.

B. Reference Standards:

1. American Joint Committee Of Horticultural Nomenclature: Standardized Plant Names, Second Edition, 1942;
2. American Association Of Nurserymen: American Standard For Nursery Stock, 1973

C. Substitutions

1. Substitutions accepted only upon written approval of Landscape Architect and Owner.
2. Submit substitutions possessing same characteristics as indicated on plans and specifications.

D. Inspection and Testing

1. The project Owner's representative reserves the right to inspect and tag plants at the place of growth with the Contractor.
2. Inspection at place of growth does not preclude the right of rejection due to improper digging or handling.
3. Owner's representative reserves the right to request soil samples and analysis of soil and plant mix. Remove or correct unacceptable soil. Cost of testing by Contractor.

1.03 SUBMITTALS

A. Certificates

1. Submit State and Federal certificates of inspection with invoice. (Only if required by Landscape Architect.)
2. File certificates with Owner's representative prior to material acceptance.

1.04 PRODUCT DELIVERY, STORAGE, & HANDLING

A. Preparation of Delivery

1. Balled & Burlaped (B&B) Plants

- a. Dig and prepare for shipment in manner that will not damage roots, branches, shape, and future development after replanting.
- b. Ball with firm, natural ball of soil, wrapped tightly with burlap covering entire ball.
- c. Ball size and ratios: conform to American Association of Nurserymen standards unless otherwise shown on plant list.

2. Pack plant material to protect against climatic & seasonal damage, as well as breakage injuries during transit.
3. Securely cover plant tops with ventilated tarpaulin or canvas to minimize wind-whipping and drying in transit.
4. Pack and ventilate to prevent sweating of plants during transit. Give special attention to insure prompt delivery and careful handling to point of delivery at job site.

B. Delivery

1. Deliver fertilizer, fertilizer tablets, peat, mulch, soil additives, and amendment materials to site in original, unopened containers, bearing manufacturer's guaranteed chemical analysis, name, trade name, trademark, and conformance to State law.
2. Deliver plants with legible identification and size labels on example plants.
3. Protect during delivery to prevent damage to root ball or desiccation of leaves.
4. Notify Owner's representative of delivery schedule in advance so plant material may be inspected upon arrival at job site.
5. Deliver plants to job site only when areas are prepared.

C. Storage

1. Protect roots of plant material from drying or other possible injury with wetted mulch or other acceptable material.
2. Protect from weather.
3. Maintain and protect plant material not to be planted immediately upon delivery.

D. Handling

1. Do not drop plants.
2. Do not damage ball, trunk, or crown.
3. Lift and handle plants from bottom of container or ball.

1.05 JOB CONDITIONS

- E. Planting Season Perform actual planting only when weather and soil conditions are suitable in accordance with locally acceptable practices.
- F. Protection Before excavations are made, take precautionary measures to protect areas trucked over and where soil is temporarily stacked.

1.06 GUARANTEE

- A. Guarantee new plant material for one year after acceptance of final installation (ie Final Acceptance of project).
- B. Make replacement (one per plant) during one year guarantee period at appropriate season with original plant type, size and planting mixture.
- C. Repair damage to other plants, lawns, & irrigation caused during plant replacement at no cost to Owner.
- D. Use only plant replacements of indicated size and species.

PART II PRODUCTS

2.01 MATERIALS

A. Plant Materials

1. Hardy under climatic conditions similar to locality of project.
2. True to botanical and common name variety.
3. Sound, healthy, vigorous, well branched, and densely foliated when in leaf; with healthy well-developed root system.
4. Free from disease, insects, and defects such as knots, sun-scald, windburn, injuries, disfigurement, or abrasions.
5. Conform to measurements after pruning with branches in normal positions.
6. Conform to American Association of Nurserymen standards unless shown differently on plant list.
7. Trees:
  - a. Single, straight trunks, unless indicated otherwise
  - b. Trees with weak, thin trunks not capable of support will not be accepted.
8. All multi-stem trees are to have a minimum of three stems, similar in size and shape, with a spread of approximately 2/3 of the height. All youpons to be female. Grape myrtle color selection by Landscape Architect.
9. Nursery grown stock only.
10. Subject to approval of Landscape Architect.
11. Seasonal color
  - a. Annuals in 4" pots or as specified
  - b. Perennials in 4" pots, clumps, bulbs as specified

B. Topsoil

1. Natural, fertile, friable soils having a textural classification of loam or sandy loam possessing characteristics of soils in vicinity which produce heavy growth of crops, grass, or other vegetation.
2. Free of subsoil, brush, organic litter, objectionable weeds, clods, shale, stones 3/4" diameter or larger, stumps, roots or other material harmful to grading, planting, plant growth, or maintenance operations.
3. Presence of vegetative parts of Bermuda grass (Cynodon dactylon), Johnson grass, nut grass (Cyperus rotundus), and other hard to eradicate weeds or grass will be cause for rejection of topsoil.
4. Test topsoil (cost by Contractor):
  - a. Available nitrogen
  - b. Available phosphorus
  - c. Available potash
  - d. Iron
  - e. Ph. 5.5 to 7.0
  - f. Decomposed organic matter: 6-10%

C. Mulch

1. Top Dressing Mulch –Shredded cypress or hard wood only
2. Mulch for soil prep –Shredded pine bark
3. In pre-packaged bags only; bulk shredded material is unacceptable.

- D. Peat Moss Commercially available baled peat moss or approved equivalent.

E. Staking Material

1. Stakes for tree support

- a. Construction grade yellow pine, stain brown
- b. Size as noted on plans

2. Wires

- a. Padded with rubber hose to protect tree
- b. Galvanized
- c. With galvanized turnbuckle
- d. Evenly tighten turnbuckles with plant in vertical position.

F. Water

1. Free of oils, acids, alkali, salt, and other substances harmful to plant growth
2. Location: Furnish temporary hoses and connections on site.

G. Sand Washed builders sand

H. Antidesicant – "Wilt-proof" or equal.

1. Edging –3/16" X 4" green, new and unused; with stakes.

2.02 MIXES

A. Planting Mixture

- Existing topsoil –50%
3. Shredded pine bark –50%
4. Fertilizer 10:20:10 at 30 lb./1000 SF

B. Planting Mix for Annuals/Perennials

1. Prepare above mix
2. Add 2" of sand

- C. Azalea mix: solid peat moss in hole 9" wider than root ball each direction. Plant in solid peat moss and provide mound at base of plant to allow for drainage.
- D. Japanese maple, dogwood, camellias: Provide 50/50 peat moss to topsoil mix, raise for drainage.

PART III – EXECUTION

- 3.01 UTILITIES – verify location of all utilities prior to initiating construction; repair any damage caused by construction at no cost to owner.

3.02 INSPECTION

- A. Inspect plants for injury and insect infestation; prune prior to installation.
- B. Inspect site to verify suitable job conditions.

3.03 FIELD MEASUREMENTS

- A. Location of all trees and shrubs to staked in the field and approved by Owner's representative prior to installation.
- B. Location of all groundcover and seeding limits as shown on plans.

3.04 EXCAVATION FOR PLANTING

A. Pits

1. Shape – Vertical hand scarified sides and flat bottom.
2. Size for trees –2 feet wider or twice the root ball, whichever is greater.
3. Size for shrubs –Size of planting bed as shown on drawings.
4. Rototill soil mix thoroughly, full depth.
5. NOTE: If beds are proposed beneath drip line of existing tree canopy, pocket prep plants. Do not roto-till beneath existing trees.

B. Obstructions Below Ground

1. Remove rock or underground obstructions to depth necessary to permit planting.
2. If underground obstructions cannot be removed, notify Owner's representative for instruction.

- C. Excess Soil Dispense of unacceptable or excess soil away from the project site at Contractor's expense.

3.05 PLANTING

A. General

1. Set plants 2" above existing grade to allow for settling.
2. Set plants plumb and rigidly braced in position until planting mixture has been tamped solidly around ball.
3. Apply soil in accordance with standard industry practice for the region.
4. Thoroughly settle by water jetting and tamping soil in 6" lifts.
5. Prepare 3" dish outside root ball after planting.
6. Thoroughly water all beds and plants.
7. Stake trees and large shrubs as indicated on plans.
8. Apply anti-desicant according to manufacturer's instructions.
9. Apply commercially manufactured root stimulator as directed by printed instruction.
10. Plant and fertilize bedding plants per trade standards.
11. Apply 3" mulch top dressing.

B. Balled Plants

1. Place in pit of planting mixture that has been hand tamped prior to placing plant.
2. Place with burlap intact to ground line. Top of ball to be 2" above surrounding soil to allow for settling.
3. Remove binding at top of ball and lay top of burlap back 6".
4. Do not pull wrapping from under ball, but cut all binding cord.
5. Do not plant if ball is cracked or broken before or during planting process or if stem or trunk is loose.
6. Backfill with planting mixture in 6" lifts.

C. Container Grown Plants

1. Place in pit on planting mixture that has been hand tamped prior to placing plant.
2. Cut cans on two sides with an acceptable can cutter, and remove root ball from can.

- Do not injure root ball.
3. Carefully remove plants without injury or damage to root balls.
4. Backfill with planting mixture in 6" lifts.

D. Mulching

1. Cover planting bed evenly with 3" of mulch.
2. Water immediately after mulching.
3. Where mulch has settled, add additional mulch to regain 3" thickness.
4. Hose down planting area with fine spray to wash leaves of plants.

D. Pruning

1. Prune minimum necessary to remove injured twigs and branches, dead wood, and succors; remove approximately 1/3 of twig growth as directed by landscape architect; do not cut leaders or other major branches of plant unless directed by landscape architect.
2. Make cuts flush, leaving no stubs.
3. Paint cuts over 1" diameter with approved tree wound paint.
4. Do not prune evergreens except to remove injured branches.

3.06 EDGING

- A. Stake edging alignment with string line prior to installation. Use framing square to insure right angles are true.
- B. Install all edging straight and true as indicated on drawings. Where edging layout is circular in design, maintain true and constant radii as shown.
- C. When required on slopes, make vertical cuts (approximately 6" on center) on bottom of edging to allow bending without crimping edging.
- D. Install edging so that approximately 1" is exposed on lawn side. Edging should not be visible from bed side after application of mulch.
- E. Align edging with architectural features (ie pavement joints, windows, columns, wall, etc.) when drawings indicate.
- F. Bend all corners, do not cut corners.
- G. Interlock all pieces with pre-fabricated connectors.
- H. Install with all stakes on inside of planting bed.
- I. Remove, file off all sharp corners and burrs.

3.07 CLEAN-UP

A. Sweep and wash all paved surfaces.

Remove all planting and construction debris from site, including rocks, trash and all other miscellaneous materials.

3.08 MAINTENANCE

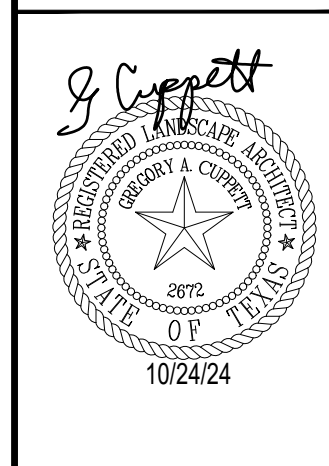
A. Contractor responsible for routine, and regular maintenance of site until Final Acceptance is awarded by Owner. Work includes:

1. Weeding (weekly)
2. Watering (as required)
3. Pruning
4. Spraying
5. Fertilizing
6. Mulching
7. Mowing (weekly)

B. Provide Owner and Landscape Architect with preferred maintenance schedule in writing. Schedule shall include the above-listed tasks and shall address all frequencies, rates, times, levels, etc.

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**Winkelmann & Associates, Inc.**  
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS  
 6750 HILDBERT PLAZA DR., SUITE 215 (972) 492-7090  
 TEXAS ENGINEERS REGISTRATION NO. 89 (972) 492-7090 FAX  
 1024/24  
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 TEXAS ENGINEERS REGISTRATION NO. 89 (972) 492-7090 FAX  
 1024/24



PLANTING SPECIFICATIONS  
 NWC OF I-30 & STODGILL RD.  
 ROCKWALL, TEXAS 75087

CASE NUMBER: SP2024-041



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 DALLAS, TEXAS 75231

IKEA  
 400 ALAN WOOD ROAD  
 CONSHOHOCKEN, PA 19428  
 TEL: (610) 834-0180

SECTION 02800

FINISH GRADING, LAWN WORK, WILD FLOWERS

PART I - GENERAL

1.01 DESCRIPTION

A. Work includes turf establishment (sod, hydromulch, etc.) as described on drawings.

B. Make required analysis and material tests for topsoil, fertilizers, and other materials of similar character per current methods of the Association of Official Agricultural Chemists, when required.

C. Grass seed shall conform to tolerances for germination and purity per applicable standards of U.S. Department of Agriculture.

D. The turf contractor shall have a stand of grass established prior to substantial completion of the project. If this is not possible due to time of year or schedule, he shall maintain and protect the seeded areas until the grass is established.

PART II - PRODUCTS

2.01 TOPSOIL MATERIAL

A. Topsoil material (stockpiled, as specified in Specifications) has been saved for use in finish grading. After sifting out all plant growth, rubbish, and stones, use for areas designated to receive grass. If stockpiled topsoil is not sufficient quantity to complete work, furnish acceptable topsoil from another approved source to provide four inches (4") of topsoil for grass areas unless otherwise noted on drawings. Grass areas shall be defined as the graded areas disturbed during construction not to be paved or built upon.

B. Acceptable topsoil material shall be defined as natural, fertile, agricultural soil, capable of sustaining vigorous plant growth, uniform composition throughout admixture of subsoil, free of stones, lumps, plants, and their roots, sticks, or other extraneous matter; do not deliver while in a frozen or muddy condition.

2.02 FERTILIZER

A. Provide a commercial balanced fertilizer delivered to the job in bags labeled with manufacturer's guaranteed analysis. Store in weatherproof storage, place in such a manner that its effectiveness will not be impaired.

B. Fertilizer shall be a grade containing the percentages of plant food elements by weight as specified elsewhere in these specifications.

C. Availability of various elements shall be per Standards of the Association of Official Agricultural Chemists.

2.03 GRASS SEED

A. Grass seed shall be of the previous season's crop and the date of analysis shown on each bag shall be within nine (9) months of the time of delivery to the project. When requested by the Owner or Representative, the seeding contractor shall furnish a sample of seed from each bag for testing.

B. The seed shall comply with all provisions of the U.S. Department of Agriculture as to labeling, purity, and germination.

2.04 MULCHING

A. Dry straw or hay of good quality, free of seeds of competing plants and at such rate of 1 1/2 - 2 tons per acre; or,

B. Wood cellulose or cane fiber mulch at a rate of 1,000 pounds per acre when the slope is 3/4:1 and steeper; or,

C. A combination of good quality dry straw or hay free of seeds of competing plants at a rate of 2 1/2 tons per acre and wood cellulose or cane fiber mulch at a rate of 500 pounds per acre. This combination shall be used when the slope is flatter than 3/4:1; or,

D. Sericea lespedza seed bearing hay at a rate of 3 tons per acre. This mulch may be applied green or air dried, but must contain mature seed.

E. Manufactured mulch materials, such as soil retention blankets, erosion control netting, or others that may be required on special areas of high water concentration or unstable soils. When these materials are used, follow the manufacturer's recommendations for installation.

2.05 HYDRO-MULCHING

Wood cellulose fiber or cane fiber mulch will be applied with hydraulic seeding and fertilizing equipment. All slurry ingredients shall be mixed to form a homogeneous slurry and spray applied within one hour after the mixture is made.

When wood cellulose or cane fiber mulch is used at the 500 pound per acre rate, straw or hay mulch with asphalt emulsion is applied over this to complete the mulch.

Wood cellulose or cane fiber mulch at the 1,000 pound per acre rate is used alone where other mulch material will not stick.

Wood cellulose or cane fiber mulch is self anchoring.

PART III - EXECUTION

3.01 RESPONSIBILITY

The site grading contractor will be responsible to stockpile acceptable topsoil in a sufficient quantity to provide four inches (4") minimum cover for all grass areas, including but not limited to all curbed islands, and topsoil planting mounds/berms at the appropriate height and width as defined and shown on the landscaping and/or planting drawings. The topsoil and grass areas shall be further defined as any area disturbed during the grading and construction process.

The site grading contractor, shall be responsible to spread the topsoil within all perimeter graded areas and future building areas only.

The site grading contractor shall be responsible for backfilling of all curbed islands and planting mounds/berms. They shall also be responsible for removal of all stones, roots, and raking of all topsoil areas that are to be seeded and/or planted. It will also be the site grading contractor's responsibility to provide fertilizer, grass seed, and any additional topsoil required and mulching.

3.02 GRASS SEEDING

A. Remove stones, roots, rubbish and other deleterious materials from topsoiled areas that are to be seeded.

B. Immediately prior to sowing seed, scarify ground as necessary; rake until surface is smooth and friable. Sow seed evenly, lightly wood rake into 02800-3 C. ground, then roll ground with suitable roller; water thoroughly with fine spray.

During any weather, keep lawn watered with sprinklers or other approved methods. Re-seed any areas not doing well or damaged. At intervals as may be required according to seasonal conditions, mow and water grass and execute necessary weeding until acceptable and full stand of grass has been obtained.

D. Provide permanent grass seeding for lawn areas so indicated. Seed in accordance with the following schedule (unless otherwise directed by Owner or Owner's Representative):

1. Sow areas ready for seeding between March 1 and October 1 with Hulled Common Bermuda at a rate of 85 pounds per acre.

2. Sow areas ready for seeding between October 1 and March 1 with Unhulled Common Bermuda at a rate of 90 pounds per acre, and Annual Rye Grass at the rate of 50 pounds per acre.

3. Apply fertilizer at a rate of 20/25 pounds per 1,000 square feet.

3.03 WILD FLOWERS

A. Areas indicated on plans to receive wild flower coverage shall be fine graded, fertilized, and prepared in a manner similar to traditional turf establishment.

B. Area to be hydromulched with seed mix as follows:

Table with 2 columns: Seed Name, Rate (pounds/acre). Includes Tickseed (10), Cosmos (15), Ox-Eyed Daisy (5), Side Oats Grama (4), Showy Primrose (0.5), Plains Coreopsis (2), Black Eyed Susan (2), Indian Blanket (10), Texas Bluebonnet (4), Little Bluestem (4).

3.04 MULCH

A. All areas to be seeded shall be mulched. B. Mulch materials shall be applied uniformly over the seeded area. Mulch shall be straw and shall be at the rate of 1 1/2 - 2 tons per acre.

B. Mulch shall be anchored with an emulsified asphalt binder at the rate of 10 gallons per 1,000 square feet.

3.05 PROTECTION

Provide, at no additional cost to Owner, fencing, railing, wire or other types of protection for topsoiled and seeded areas against trespassing and damage. If lawns are damaged prior to Final Acceptance, treat or replace them as directed. Remove protection when so directed.

3.06 MAINTENANCE

Provide maintenance from start of work until Final Acceptance. Maintenance includes watering of lawns, weeding, mowing, edging, repairs of wash-outs and gullies, repairs to protection, and other necessary work of maintenance. Maintain slopes against erosion.

3.07 REHYDROMULCHING

The Owner's representative will designate areas to be replanted. Areas on which a stand of growing grass is not present in a reasonable length of time, (Bermuda grass seed should be germinating in 6-8 days) shall be prepared, reseeded and remulched, as specified for original planting at no additional cost to Owner. A stand shall be defined as live plants from seed occurring at a rate of not less than 1,000 growing plants per square foot. Replanting required because of faulty operations or negligence on the part of the Contractor shall be performed without cost to Owner.

3.08 FINAL CLEAN-UP

A. At time of final inspection of work, and before final acceptance, clean paved areas that are soiled or stained by operations of work of this section. Clean by sweeping or washing, and remove all defacements or stains.

B. Remove construction equipment, excess material and tools. Cart away from site any debris resulting from work of this section and dispose of as directed.

SECTION 02922

SODDING

PART I - GENERAL

1.01 DESCRIPTION

A. Work included

- 1. Sod bed preparation
2. Fertilizing
3. Sodding
4. Miscellaneous management practices
B. Related Work Specified Elsewhere

- 1. Finish Grading, Section 02800
2. Lawns and Grasses, Section 02930

1.02 REFERENCE STANDARDS

A. Standardized Plant Names

American Joint Committee of Horticultural Nomenclature, Second Edition, 1942.

B. Texas Highway Department - Standard Specifications for Construction, Item 164, Seeding for Erosion Control.

1.03 SUBMITTALS

A. Vendors Certification That Sod Meets Texas State Sod Law

- 1. Include labeling requirements.
2. Include purity and type.

1.04 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Sod:

- 1. Previous season's crop with date of analysis on each bag.
2. Furnish and deliver each variety in separate bags or containers.
3. Sod to be cut no more than three days before delivery.

B. Fertilizer:

- 1. Unopened bags labeled with the analysis.
2. Conform to Texas Fertilizer Law.

1.05 JOB CONDITIONS

A. Planting Season:

- 1. Only during suitable weather and soil conditions.
2. As specifically authorized by the Owner's Representative.

B. Schedule - Only after all other construction is complete.

C. Protect and Maintain Sodded Areas

- 1. From traffic and all other use.
2. Until sodding is complete and accepted.

PART II - PRODUCTS

2.01 MATERIALS

A. Sod:

- 1. Sod: As specified on drawings, weed, insect, and disease free having a minimum of 1 inch of topsoil attached to the roots and cut no more than three days prior to installation.
2. The sod shall be cut in strips of at least 1/2 sq. yd. and not more than 1 sq. yd. Sod shall be cut into strips not less than 12" in width or more than 9' in length. At the time of harvest, the top growth shall not exceed 3" in length.
3. All sod shall conform to the laws of the State and shall be obtained from sources meeting the approval of the Department of Agriculture, Division of Entomology.

B. Fertilizer:

- 1. Uniform in composition, free flowing.
2. Suitable for application in approved equipment.
3. Analysis of 16-20-0, 16-8-8 or as directed.

C. Water:

- 1. Free of oil, acid, alkali, salts or other substances harmful to growth of grasses.

PART III - EXECUTION

3.01 SOD BED PREPARATION

A. Cultivate to a depth of four (4") inches by disking and tilling with a power tiller.

B. Clear surfaces of all materials:

- 1. Stumps, stones, and other objects larger than one inch (1").
2. Roots, brush, wire, stakes, etc.
3. Any objects that may interfere with sodding or maintenance.

C. Prepare sod bed:

- 1. Remove soil clods larger than one inch (1").
2. Grade areas to smooth, even surface, removing ridges and filling depressions. Final grade to be below finish grade of curbing and edging as shown on details. All grades shall meet approval of Owner's Representative before sodding.

3.02 SODDING

A. Sodding:

- 1. Lightly water prepared grade, lay sod with staggered joints and with edges touching. Topdress with topsoil at edges if necessary to provide smooth surface. On slopes of 2 to 1 and greater, fasten sod in place with wood pegs (two each piece) or other approved method. Sod damaged by storage or during installation shall be rejected. Following settling, topdress with screened, approved topsoil.
2. Water and fertilize at 5 lbs. per 1,000 sq. ft.
3. Sod shall not be placed during a drought, nor during periods when sod is not normally placed in the area, and shall not be placed on frozen ground. No dry or frozen sod is acceptable.
4. The contractor shall keep all sodded areas moist and growing until Final Acceptance. All areas shall be maintained in an acceptable condition until acceptance by Owner.

B. Rolling:

- 1. After placing sod, roll with a hand roller, weighing not more than 100 lbs. per foot of width, in two directions.
2. Eliminate all air pockets; finished surface should be free of excessive undulations.

3.05 MAINTENANCE AND MANAGEMENT

A. Includes protection, replanting, maintaining grades, repair of erosion damage. Also includes weekly mowing at 1 1/2" height until final acceptance.

B. Resodding:

- 1. Resod damaged or unacceptable areas.
2. Ruts, ridges, and other surface irregularities shall be corrected.

CASE NUMBER: SP2024-041



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 10/24/24, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, 2024.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, 2024.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M.ELLIOTT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS: ROCKWALL 549/130 PARTNERS, LP& CONVEYOR 130 PARTNERS, LP 8750 N CENTRAL EXPY DALLAS, TEXAS 75231

IKEA 400 ALAN WOOD ROAD CONSHOHOCKEN, PA 19428 TEL: (610) 834-0180

TURF SPECIFICATIONS NWC OF I-30 & STODGILL RD. ROCKWALL, TEXAS 75087

L-9

Winkelmann & Associates, Inc. CONSULTING CIVIL ENGINEERS & SURVEYORS 6750 HILDBEST PLAZA DR., SUITE 215 ROCKWALL, TEXAS 75087-1401 (972) 482-7996 (972) 482-7999 FAX (972) 482-7999

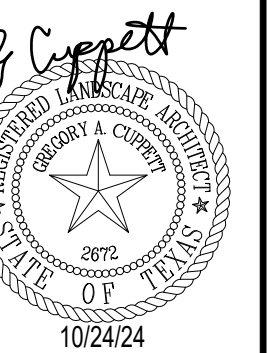
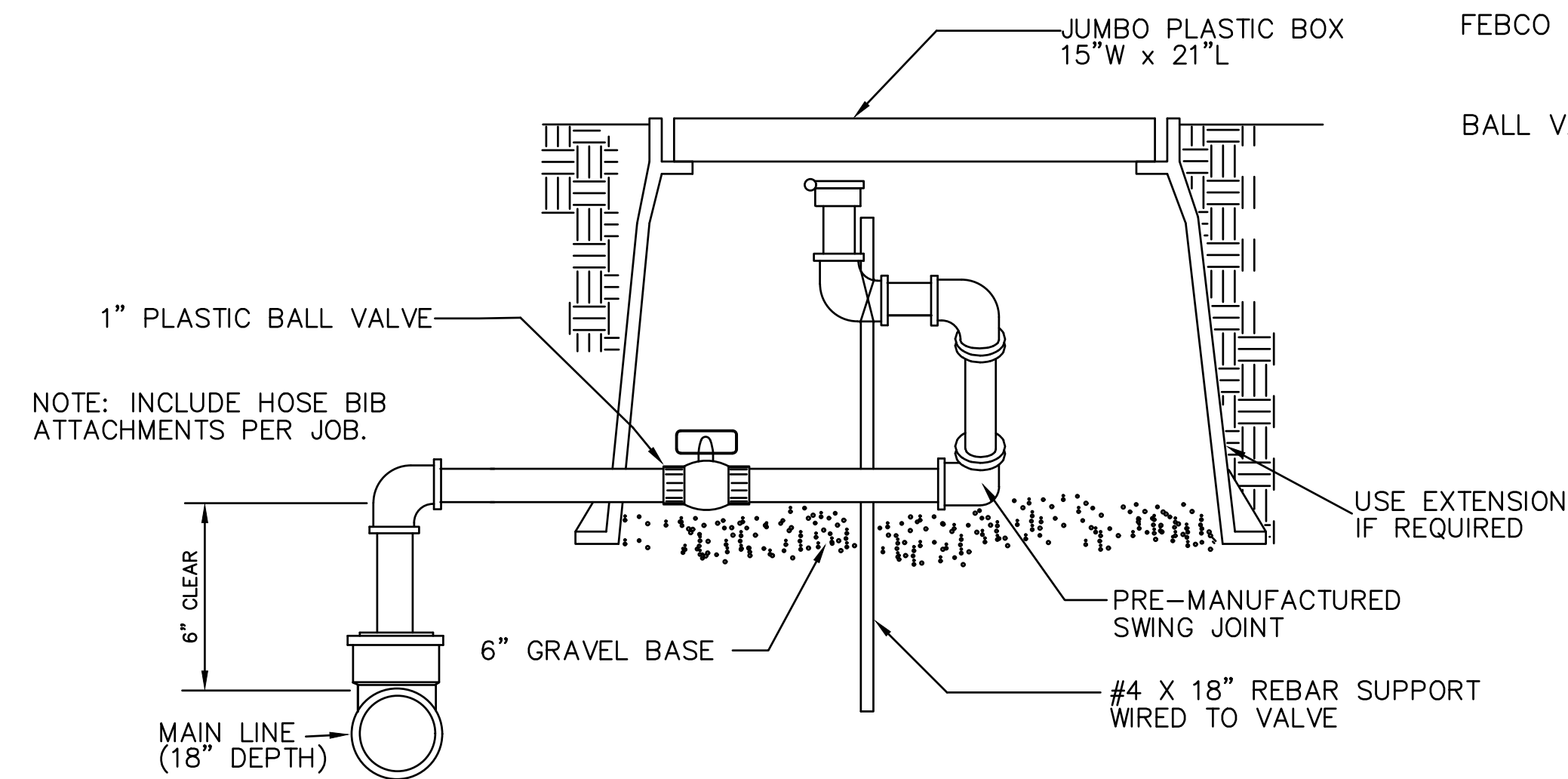


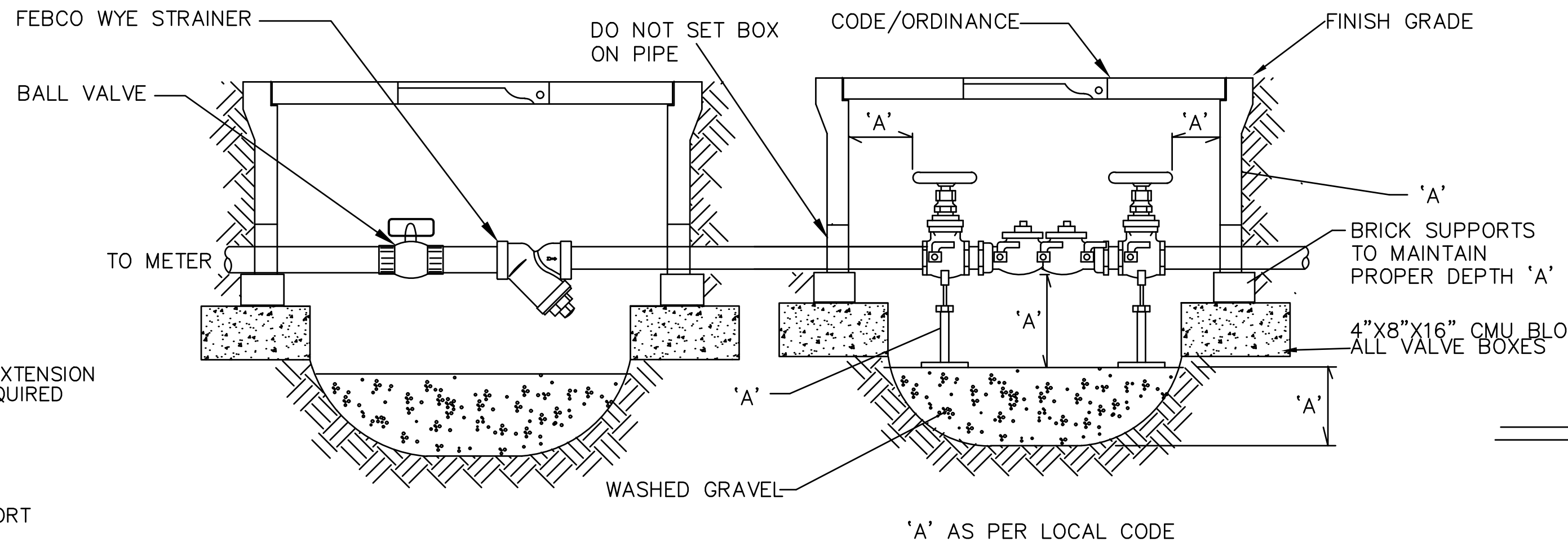
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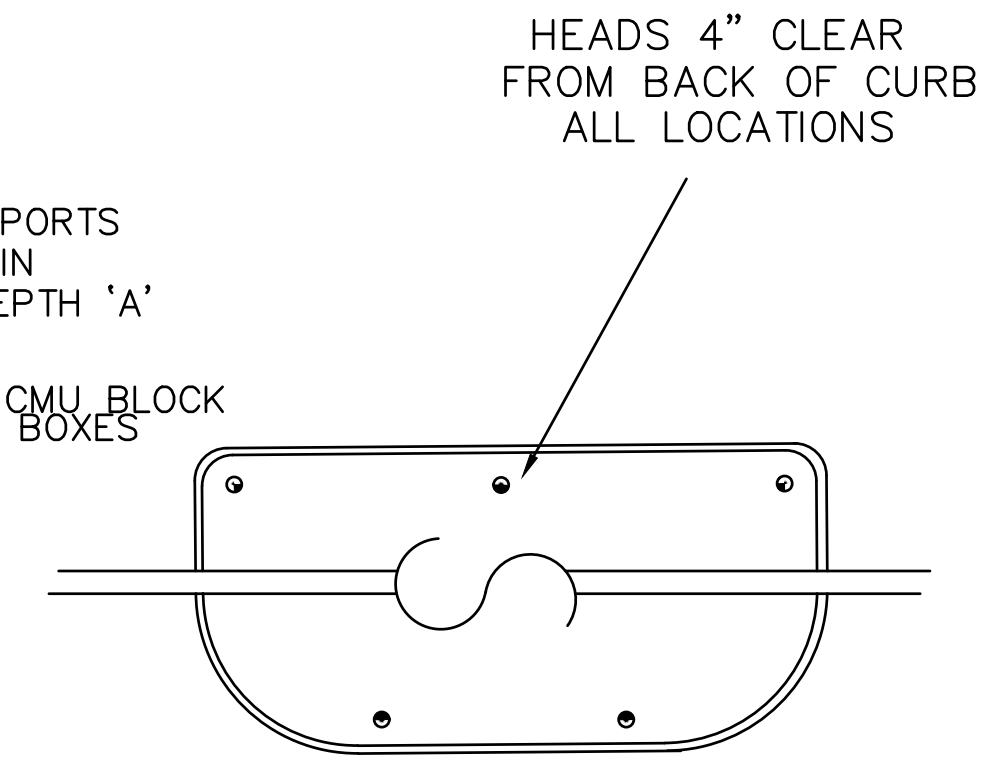
**QUICK COUPLER VALVE**

SCALE: NOT TO SCALE



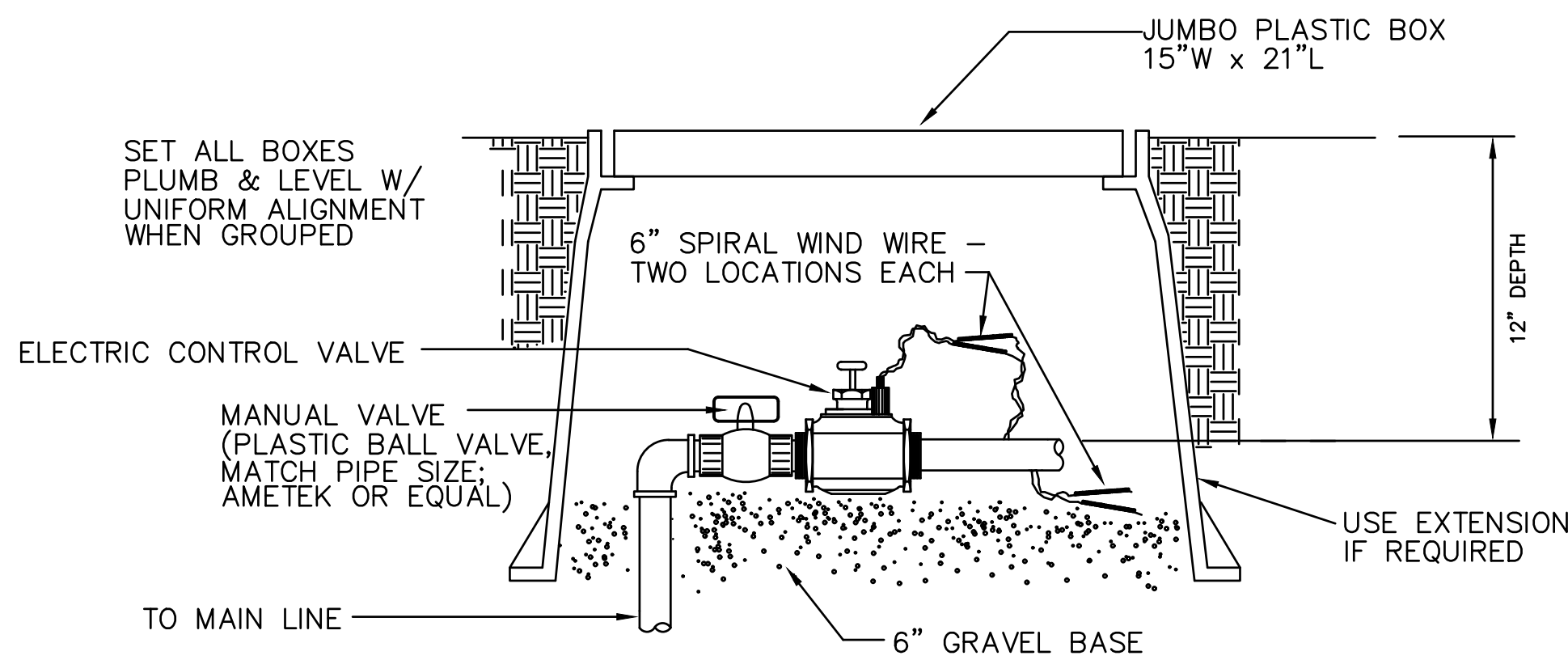
**DOUBLE CHECK VALVE/WYE STRAINER ASSEMBLY**

SCALE: NOT TO SCALE



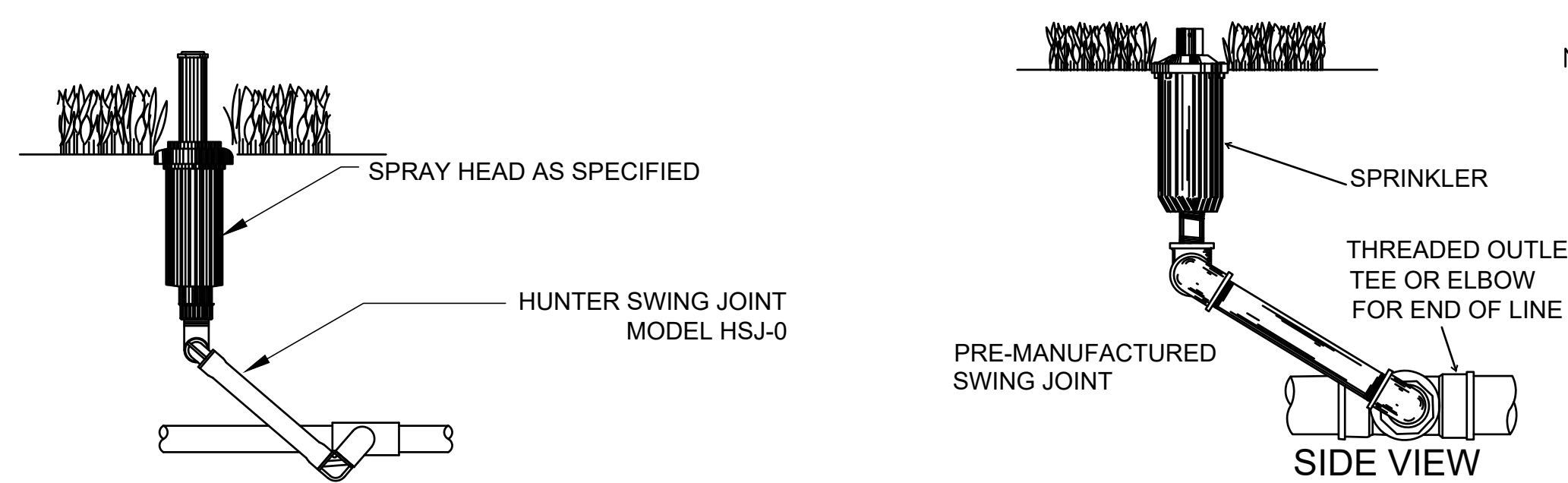
**HEAD LAYOUT  
Plan View**

SCALE: NOT TO SCALE



**ELECTRIC CONTROL VALVE**

SCALE: NOT TO SCALE



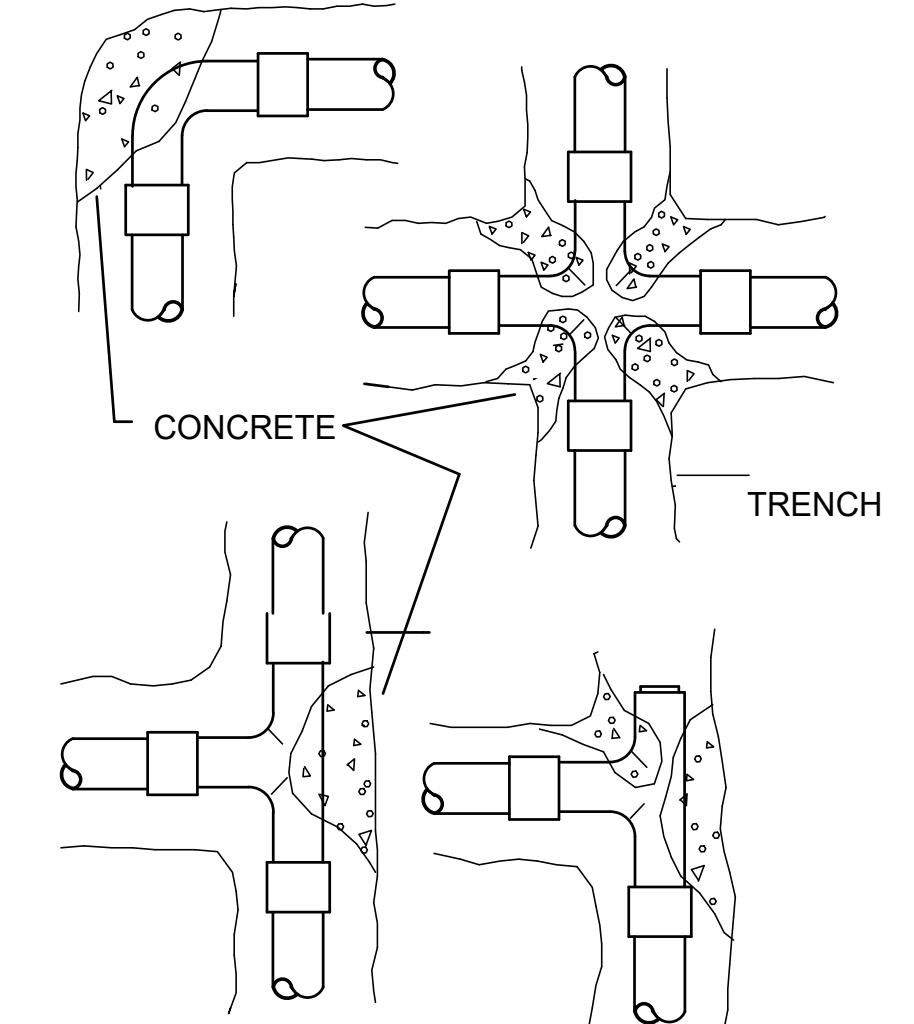
**TYPICAL INSTALLATION OF  
SPRAY HEAD**

SCALE: NOT TO SCALE

**TYPICAL INSTALLATION OF  
ROTARY SPRINKLER ON  
SWING-JOINT RISER**

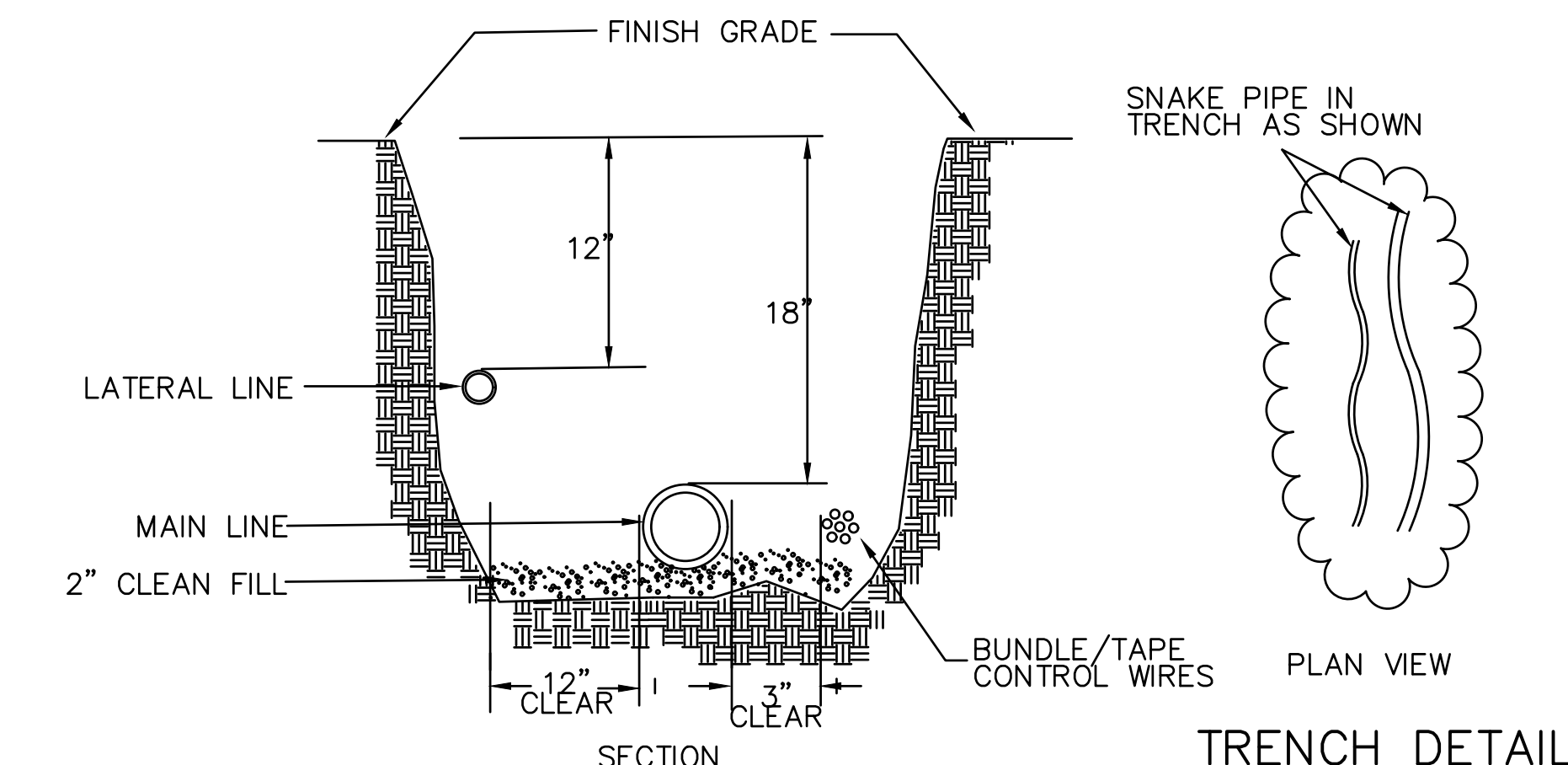
SCALE: NOT TO SCALE

NOTE: - THRUST BLOCKS ON MAIN LINE - ALL SIZES;  
AND LATERALS 2" & LARGER  
- MINIMUM BLOCK SIZE 8"X8"X8"



**THRUST BLOCKS - PLAN VIEW**

SCALE: NOT TO SCALE



**TRENCH DETAIL**

SCALE: NOT TO SCALE

**IRRIGATION NOTES:**

- IRRIGATION LINES ARE SOMETIMES SHOWN OUTSIDE PLANTING BEDS FOR GRAPHIC CLARITY ONLY. ADJUST INSIDE BEDS ON SITE.
- AVOID TRENCHING WITHIN DRIP LINE OF EXISTING TREES. WHERE NECESSARY, TRENCH RADIALLY, RATHER THAN ACROSS THE ROOT SYSTEM.
- MAIN LINE VARIES. REFERENCE PLAN.
- ALL SLEEVES UNDER PAVING TO EXTEND 12" PAST EDGE OF PAVING. COORDINATE WORK WITH GENERAL AND PAVING SUBCONTRACTOR.
- ALL HEADS TO BE 4" POPS IN LAWNS. ALL HEADS WITH CHECK VALVES.
- COORDINATE SLEEVE SIZE AND LOCATION FOR FREEZE SENSOR, RAIN GAUGE AND CONTROLLER WITH GENERAL CONTRACTOR. SEAL ALL BUILDING PENETRATIONS WATER TIGHT.
- SEE DETAIL SHEET FOLLOWING FOR IRRIGATION DETAILS.
- PRESSURE ESTIMATED AT 65 PSI; MINIMUM 50 GPM AS PROVIDED BY CITY. VERIFY ON SITE AND REPORT TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING ANY WORK.
- CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER, AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER. REFER TO SITE/UTILITY PLANS.
- FREEZE SENSOR AND RAIN GAUGE INSTALLATION PER MANUFACTURER'S INSTRUCTIONS (MINI-CLIK F-401 & 502). LOCATION/HEIGHT TO AVOID DIRECT SPRAY OF IRRIGATION HEADS.
- VERIFY 100% COVERAGE OF SYSTEM OVER ALL PLANTING & LAWN AREAS AS SHOWN ON DRAWINGS.
- IF PEDESTAL MOUNTED CONTROLLER IS SPECIFIED, MOUNT ON 4"X3"X3" CONCRETE SLAB WITH (4) #4'S EACH WAY. SLEEVE THROUGH SLAB FOR CONTROLLER WIRING AS REQUIRED.
- UNLESS NOTED OTHERWISE, THERE ARE NO EXISTING SLEEVES. IRRIGATION CONTRACTOR TO SIZE AND COORDINATE SLEEVE INSTALLATION AS NEEDED IN ALL LOCATIONS UNDER PAVEMENT.
- QUANTITIES ARE PROVIDED AS A COURTESY AND ARE NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO BIDDING.
- IF DOUBLE CHECK IS PROHIBITED BY LOCAL CODE/ORDINANCE, SUBSTITUTE WITH APPROVED BACKFLOW PREVENTION DEVICE.
- ALL WORK IN ACCORDANCE WITH LOCAL, STATE, & NATIONAL CODES & ORDINANCES.
- CONTRACTOR TO SIZE CONTROL SIZE WIRE AS NECESSARY. HOWEVER, MINIMUM SIZE TO BE 14 GAUGE PER NATIONAL ELECTRICAL CODE. ALL SPLICES WITH APPROVED MANUFACTURED CONNECTOR IN VALVE BOX.
- DO NOT LOCATE VALVE BOXES IN SWALES, LOW AREAS, OR ANY OTHER LOCATIONS THAT MAY COLLECT WATER.
- CONTROLLER TO BE WIRED ON DEDICATED 110 VOLT CIRCUIT AND GROUNDED W/"GROUNDING SPIKE" PER MANUFACTURER'S INSTRUCTIONS.
- ADJUST HEADS TO AVOID OVERSPRAY ONTO STREETS AND ROADWAYS.
- INCLUDE ONE SPARE WIRE FROM CONTROLLER TO EACH CONTROL VALVE. EACH WIRE TO BE VARYING COLOR.
- CONTRACTOR IS RESPONSIBLE FOR ADJUSTING FLOW CONTROL AND/OR PRESSURE REGULATOR AT EACH CONTROL VALVE AS NECESSARY TO MAKE SYSTEM OPERATE AS INTENDED.

CASE NUMBER: SP2024-041



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREGORY CUPPETT, LICENSED IRRIGATOR & LANDSCAPE ARCHITECT (LICENSED IRRIGATOR NUMBER 0023539, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672) ON 10/24/24 WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 8.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS AND THE RULES AND REGULATIONS OF THE TEXAS DEPARTMENT OF LICENSING AND REGULATION, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS AND THE TEXAS DEPARTMENT OF LICENSING AND REGULATION. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE IRRIGATOR/LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

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WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING & ZONING

BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNERS:**  
ROCKWALL 549/130 PARTNERS, LP & CONVEYOR 130 PARTNERS, LP  
8750 N CENTRAL EXPY  
DALLAS, TEXAS 75231

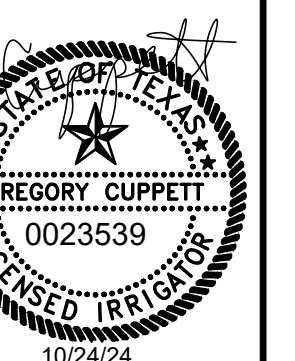
IKEA  
400 ALAN WOOD ROAD  
CONSHOHOCKEN, PA 19028  
TEL: (610) 834-0180

IRRIGATION DETAILS  
NWC OF I-30 & STODGILL RD.  
ROCKWALL, TEXAS 75087

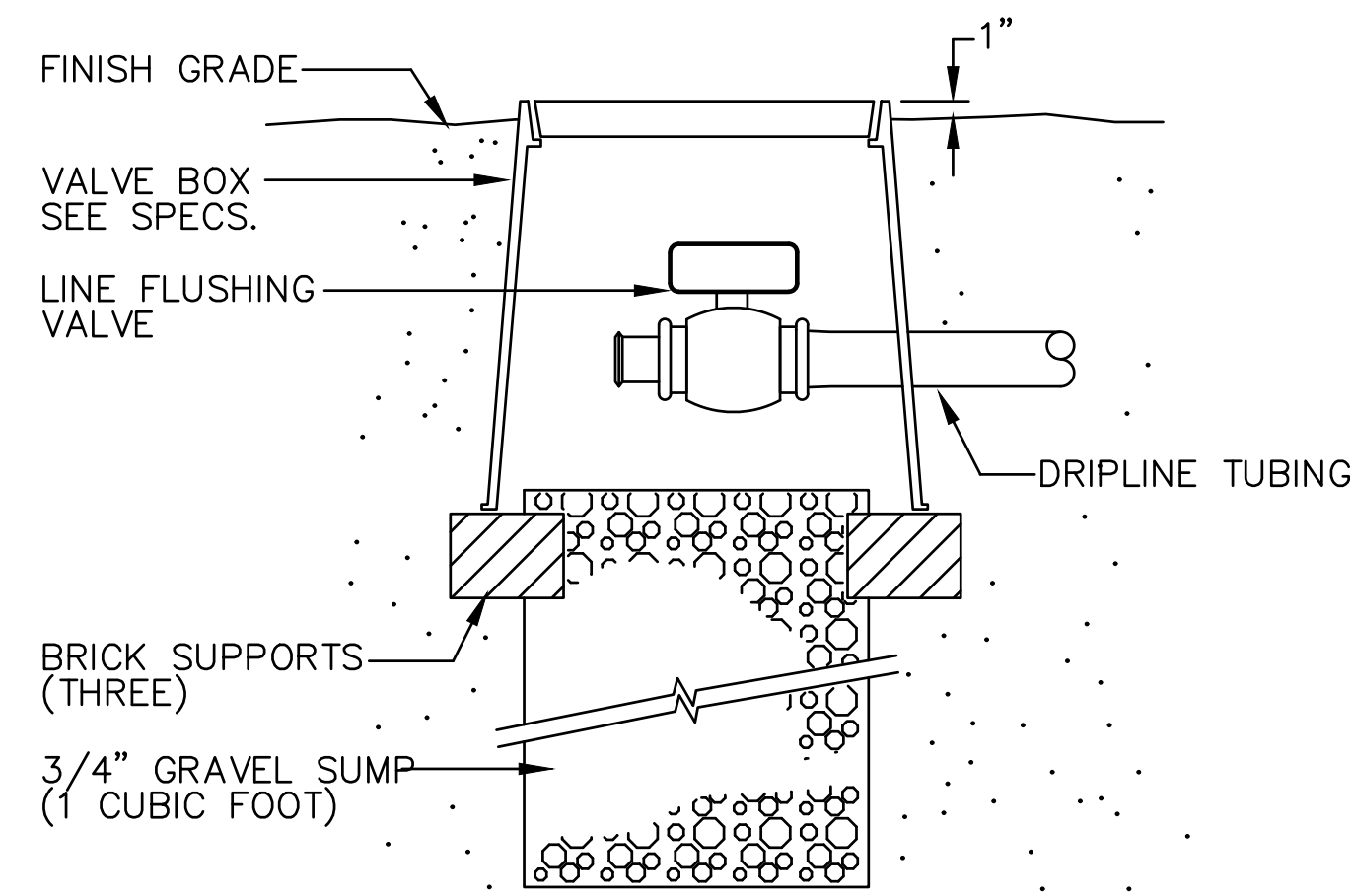
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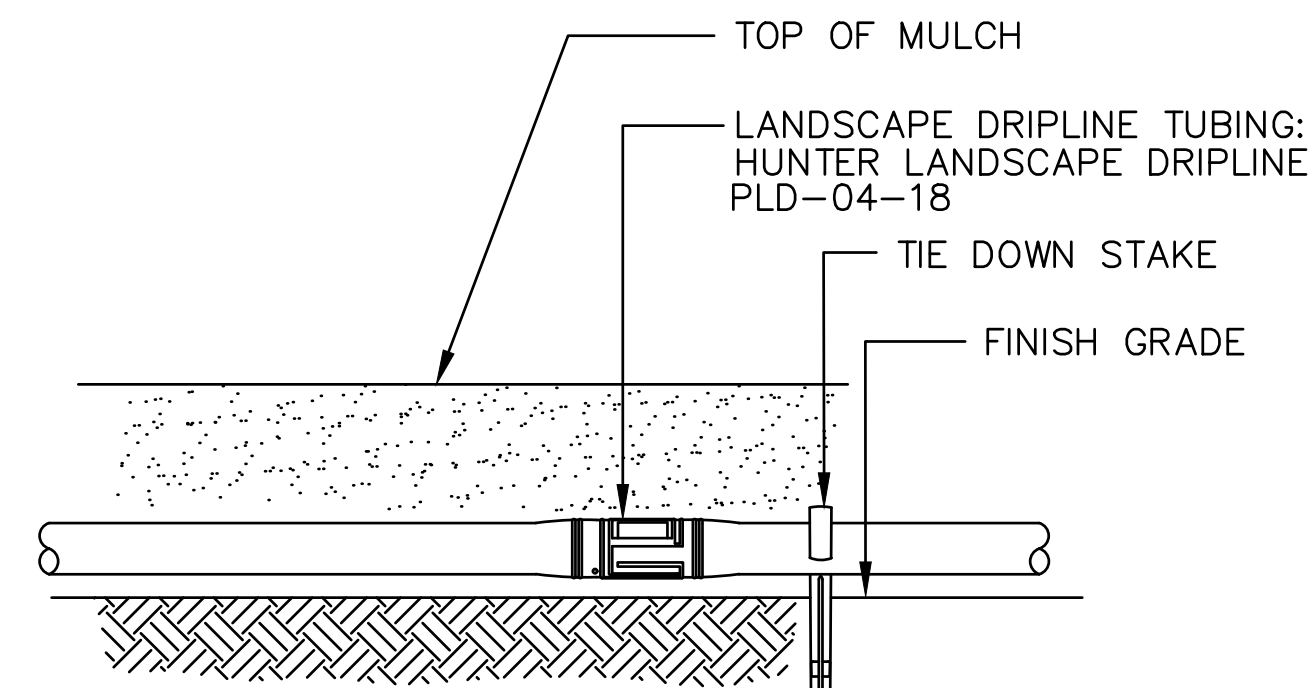
**Winkelman & Associates, Inc.**  
CONSULTING CIVIL ENGINEERS ■ SURVEYORS  
6750 HILDBEST PLAZA DR., SUITE 215  
IRVING, TEXAS 75039  
(972) 498-7999 FAX  
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Texas Engineers Registration No. 89  
Texas Surveyors Registration No. 10886  
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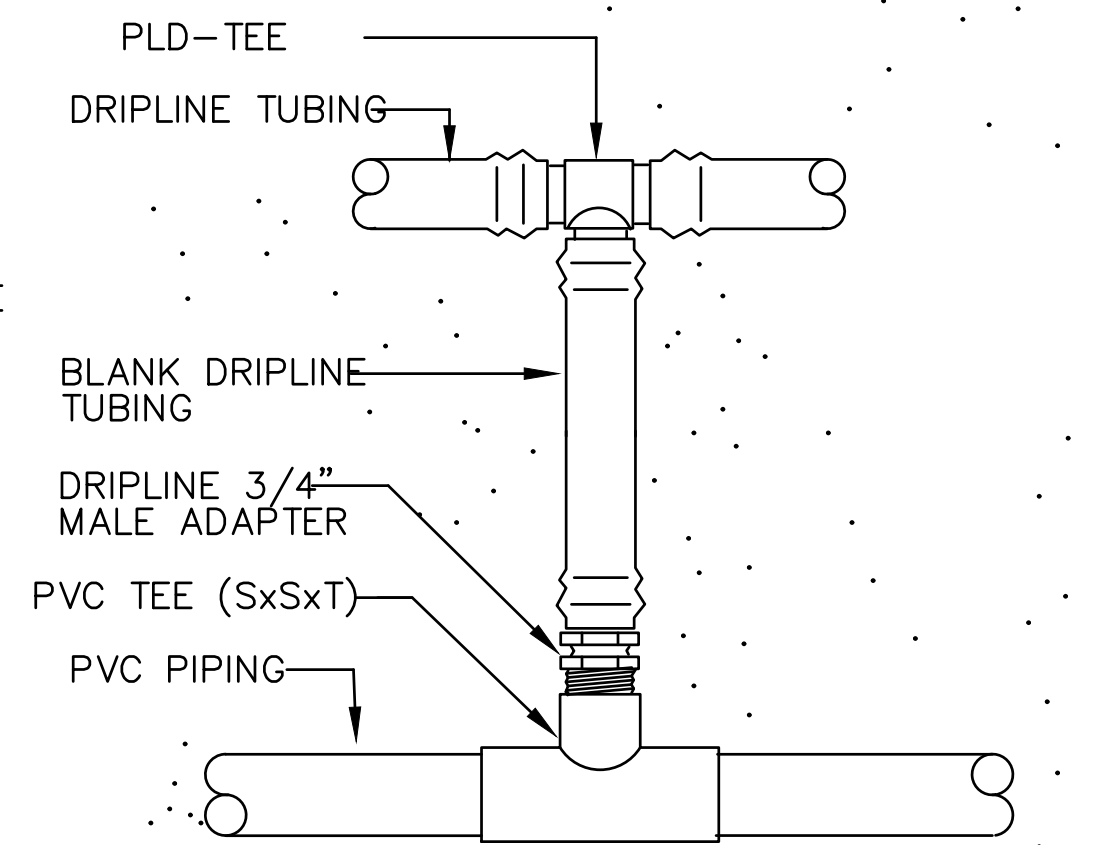
10/24/24



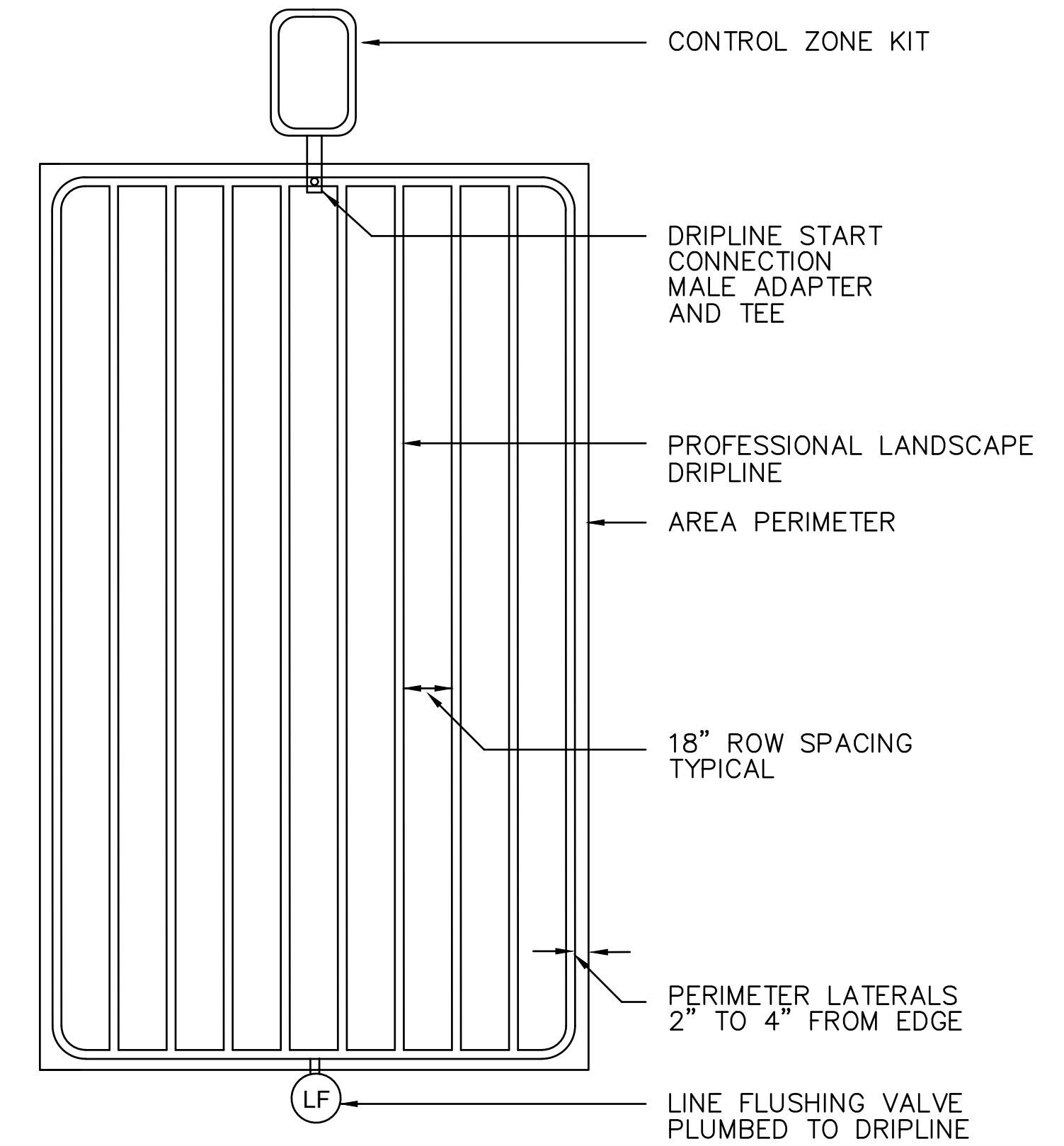
**LINE FLUSHING VALVE**  
SECTION - NO SCALE



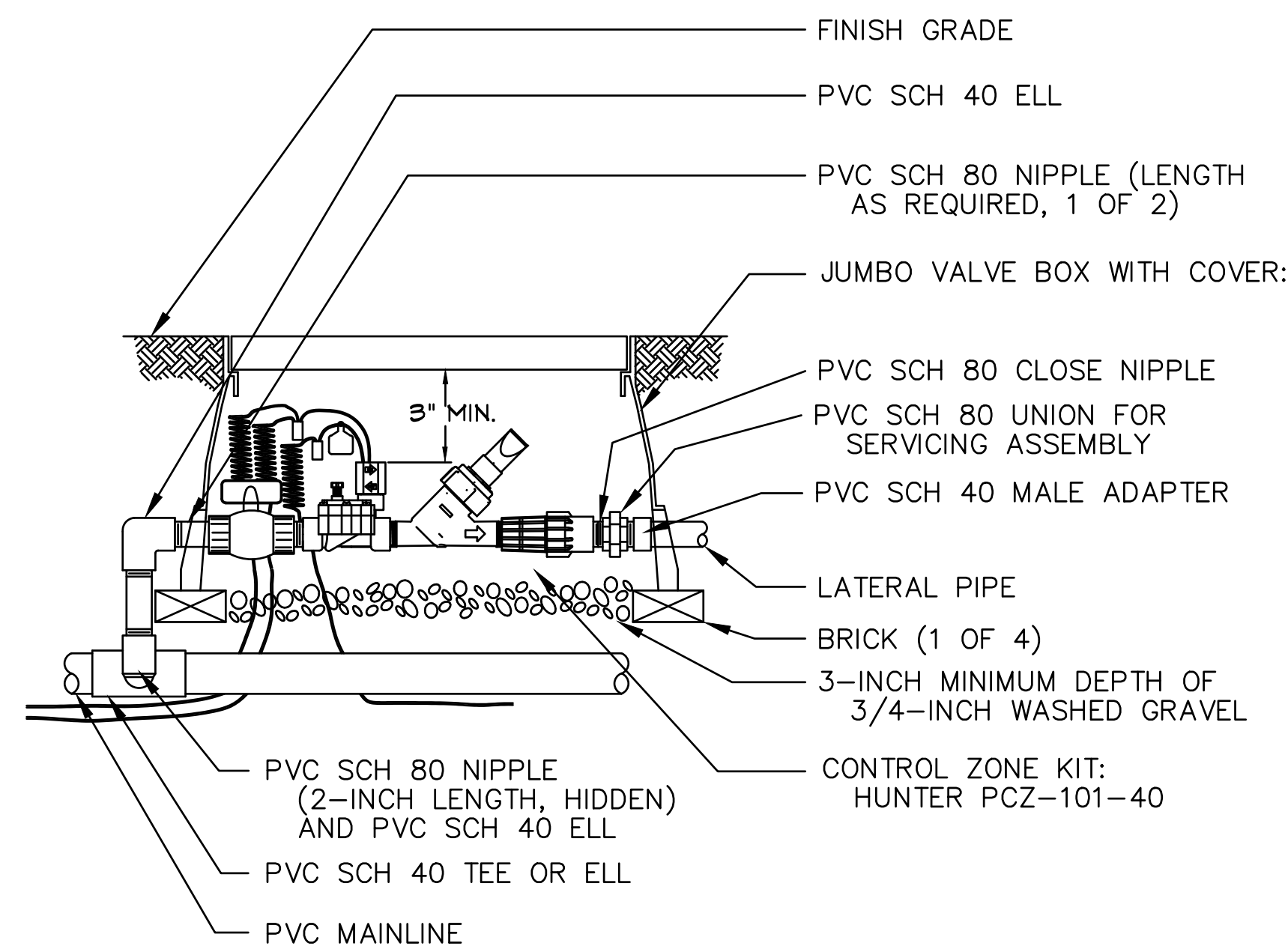
**DRIPLINE ON GRADE**  
SCALE: NOT TO SCALE



**DRIPLINE START CONNECTION**  
SECTION - NO SCALE



**TYPICAL DRIPLINE END FEED LAYOUT**  
DETAIL - NO SCALE



**FLOW CONTROL ZONE KIT**  
SCALE: NOT TO SCALE

CASE NUMBER: SP2024-041



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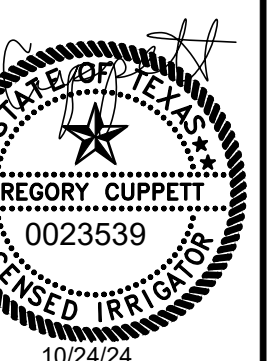
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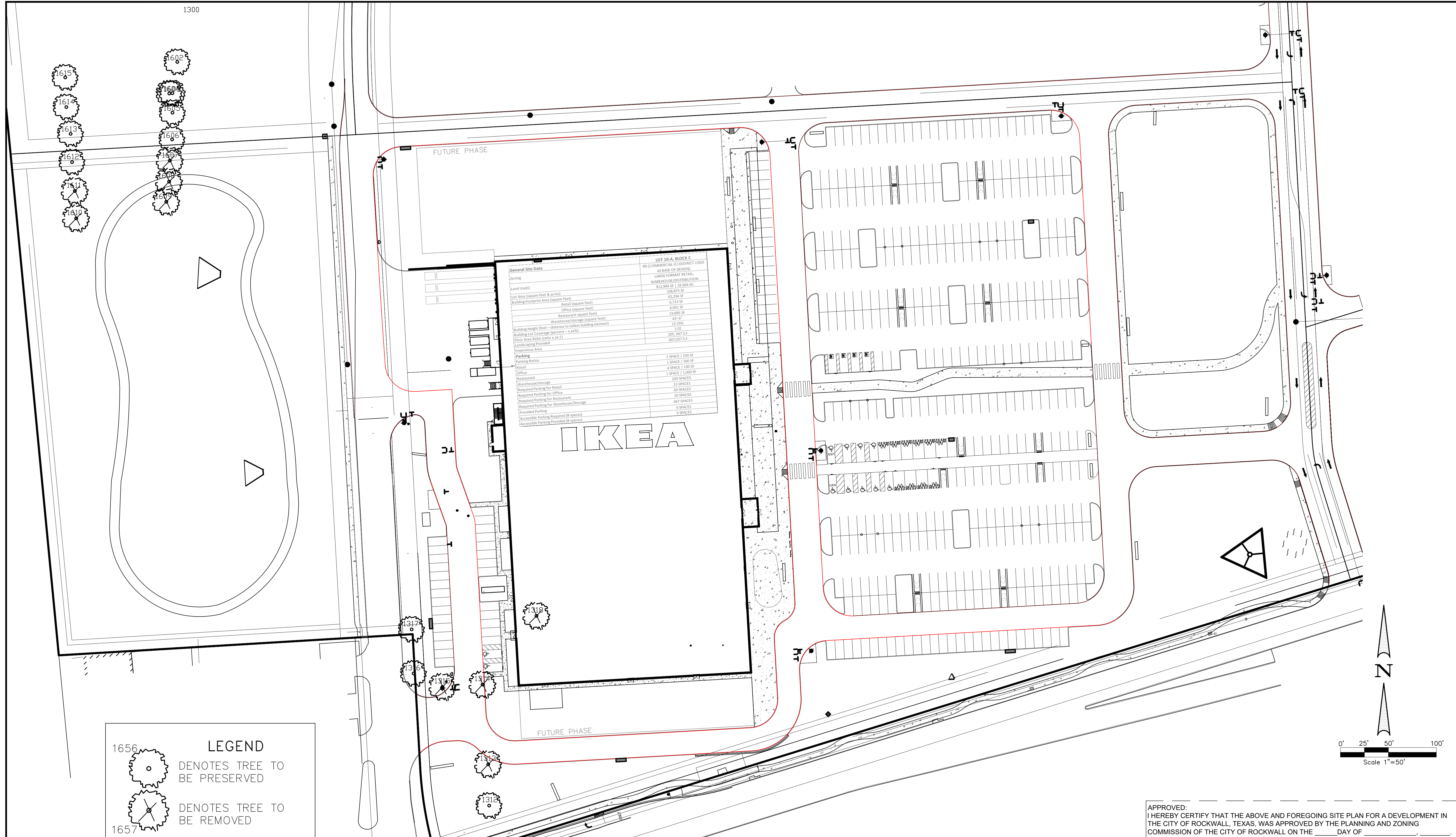
**Winkelmann & Associates, Inc.**  
CONSULTING CIVIL ENGINEERS ■ SURVEYORS  
6750 HILDBERT PLAZA DRIVE, SUITE 215  
IRVING, TEXAS 75039  
(972) 498-7998  
(972) 498-7999 FAX  
COURTESY OF: Winkelman & Associates, Inc.



DRIP DETAILS  
NWC OF I-30 & STODGILL RD.  
ROCKWALL, TEXAS 75087

1-3

No.	DATE	REVISION	APPROV.
6.			
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General Site Data		LOT DWA, BLOCK C PD (COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN)
Zoning		LARGE FORMAT RETAIL WAREHOUSE/DISTRIBUTION
Lot Area (square feet & acres)	128,875 SF	812,084 SF / 18.664 AC
Building Footprint Area (square feet)	62,234 SF	
Retail (square feet)	6,223 SF	
Office (square feet)	9,965 SF	
Warehouse (square feet)	18,985 SF	
Warehouse (storage) (square feet)	43 SF	
Building Height (feet - distance to tallest building element)	13.30%	
Building Lot Coverage (percent - ±.00%)	1.00	
Floor Area Ratio (ratio x.00%)	205.00 S.F.	
Landscaping Provided	607,037 S.F.	
Impervious Area		
Parking	1 SPACE / 250 SF	
Parking Ratio	1 SPACE / 300 SF	
Restaurant	4 SPACES / 1,000 SF	
Office	1 SPACE / 1,000 SF	
Warehouse/Storage	23 SPACES	
Required Parking for Retail	69 SPACES	
Required Parking for Office	20 SPACES	
Required Parking for Restaurant	467 SPACES	
Required Parking for Warehouse/Storage	9 SPACES	
Provided Parking	9 SPACES	
Accommodated Parking Required (if spaces)		
Available Parking Provided (if spaces)		

**LEGEND**

1656 DENOTES TREE TO BE PRESERVED

1657 DENOTES TREE TO BE REMOVED

LOCATION OF PROTECTIVE FENCE

**TOTAL**

TOTAL CALIPER INCHES	221"
TOTAL CALIPER INCHES PRESERVED	78" (35%)
TOTAL CALIPER INCHES REMOVED	143" (65%)

TOTAL TREES TO BE REMOVED: 143" CALIPER INCHES

TOTAL MITIGATION REQUIRED: 143"  
 137 3" = 411"  
 26 4" = 104"  
 411+104 = 515" PLANTED

Tag #	Botanical/Common Name	DBH	Canopy	Condition	Status	Reason for Removal	Mitigation
1312	Oak/Quercus spp.	26	2123	Good	Preserve		
1313	Oak/Quercus spp.	23	1661	Good	Remove	Grading	23
1314	Oak/Quercus spp.	16	804	Good	Remove	Grading	16
1315	Oak/Quercus spp.	14	615	Good	Remove	Grading	14
1316	Oak/Quercus spp.	20	1256	Good	Preserve		
1317	Oak/Quercus spp.	20	1256	Good	Preserve		
1318	Oak/Quercus spp.	18	1017	Good	Remove	Building Pad	18
1607	Oak/Quercus spp.	16	804	Good	Remove	Grading	16
1608	Oak/Quercus spp.	11	380	Good	Remove	Grading	11
1609	Oak/Quercus spp.	12	452	Good	Remove	Grading	12
1610	Oak/Quercus spp.	14	615	Good	Remove	Grading	14
1611	Oak/Quercus spp.	19	1134	Good	Remove	Grading	19
1612	Oak/Quercus spp.	12	452	Good	Preserve		

CASE NUMBER: SP2024-041

**FAIN • CUPPETT**  
**LANDSCAPE ARCHITECTS, LLC**  
 8233 Mid Cities Blvd., Suite B  
 North Richland Hills, TX 76182-4761 817-479-0730  
 PARKS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 10/24/24 WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

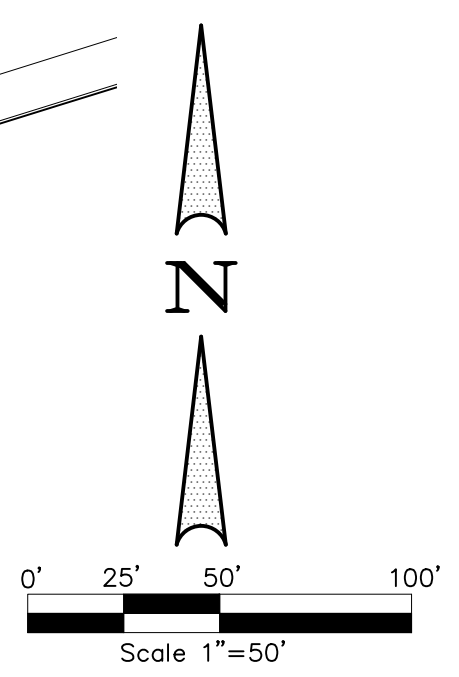
WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING & ZONING

BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNERS:**  
 ROCKWALL 549/130 PARTNERS, LP & CONVEYOR 130 PARTNERS, LP  
 8750 N CENTRAL EXPY  
 DALLAS, TEXAS 75231

IKEA  
 400 ALAN WOOD ROAD  
 CONSHOHOCKEN, PA 19428  
 TEL: (610) 834-0180



**Winkelmann & Associates, Inc.**  
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS  
 8750 HILDBEST PLAZA DRIVE, SUITE 215      (972) 498-7098  
 Texas Engineers Registration No. 89      (972) 498-7098 FAX  
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**REGISTRATION NO. 102424**

TREESCAPE PLAN  
 NWC OF I-30 & STODGILL RD.  
 ROCKWALL, TEXAS 75087

No.	DATE	REVISION	APPROV.
6.			
5.			
4.			
3.			
2.			
1.			

T-1











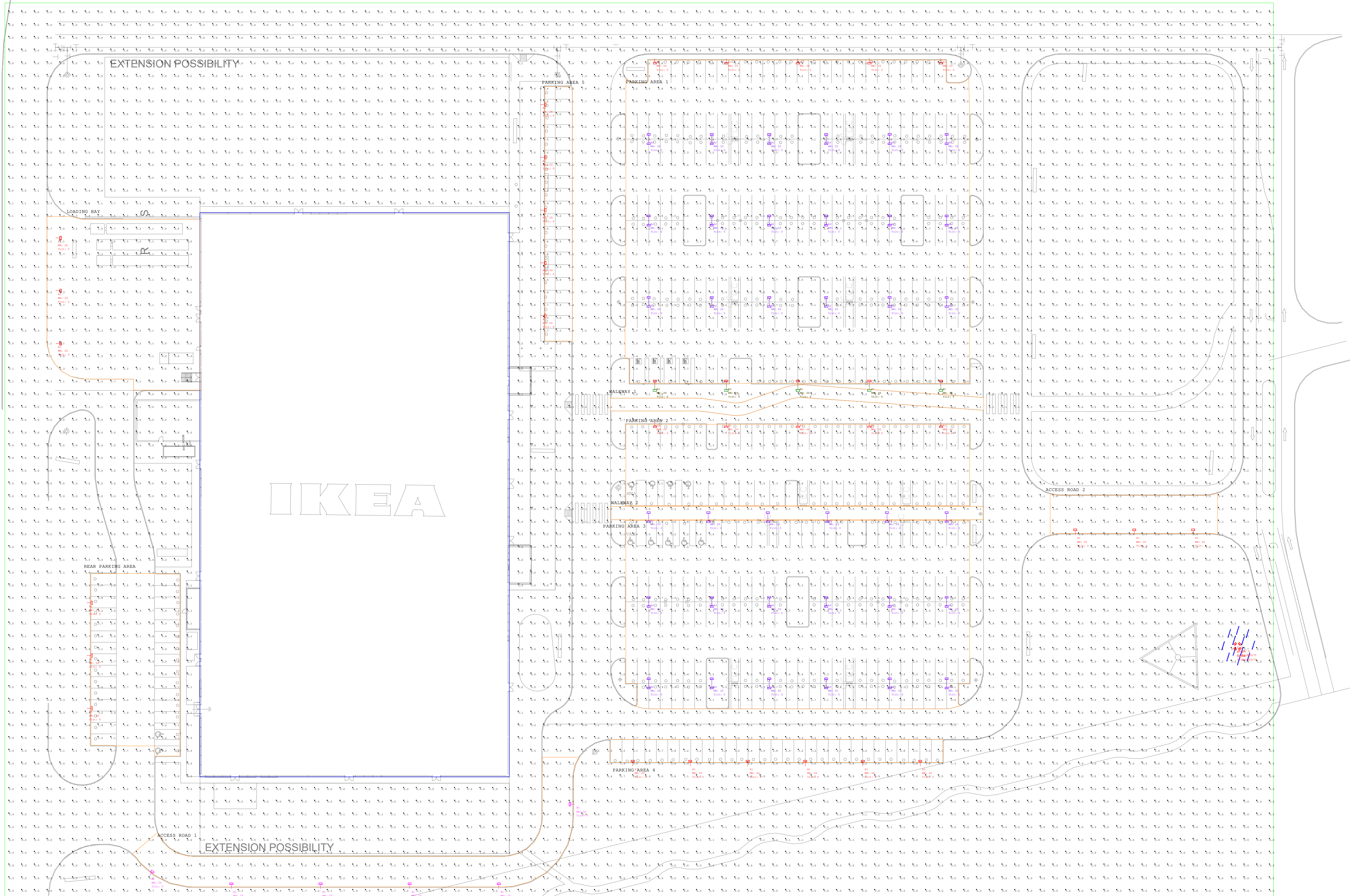


- GENERAL NOTES:
1. NOT FOR CONSTRUCTION PURPOSES.
  2. ALL CALCULATIONS CONTAIN AN ERROR FACTOR OF +/- 10%.
  3. CALCULATION POINT SPACING IS 10' x 10'
  4. ALL CALCULATIONS ARE IN FOOTCANDLE MEASUREMENTS
  5. UNLESS OTHERWISE NOTED - ALL REFLECTANCE VALUES ARE CALCULATED USING THE DEFAULT VALUES OF: SURFACE = .2, WALLS = .5, CEILING = .8



Bell & McCoy  
Lighting and Controls  
4630 Nall Road  
Farmers Branch, TX 75244

IKEA ROCKWALL



Revisions:  
X XX/XX/XXXX

Drawn By:  
J. FENTON  
Date:  
9/11/2024  
Scale:  
N.T.S  
Sheet Title:  
Site Photometrics  
Sheet No.

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Bell & McCoy  
 Lighting and Controls  
 4630 Nall Road  
 Farmers Branch, TX 75244

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
	35	A1	Single	VP-1-160L-50-3K7-4F		0.900	6757	52	1820	20
	36	A2	Back-Back	VP-1-160L-35-3K7-4F		0.900	4709	35	2520	20
	6	B1	Single	VP-1-160L-50-3K7-3		0.900	6814	52	312	20
	5	C1	Single	VP-1-160L-75-3K7-2		0.900	9584	72	360	20
	4	D	Single	PFMXW43LED		0.900	5191	40.34	161.36	8

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE Planar	Illuminance	Fc	0.99	6.5	0.0	N.A.	N.A.
ACCESS ROAD 1	Illuminance	Fc	1.85	2.9	0.8	2.31	3.63
ACCESS ROAD 2	Illuminance	Fc	2.20	3.0	1.2	1.83	2.50
LOADING BAY	Illuminance	Fc	0.97	3.3	0.0	N.A.	N.A.
PARKING AREA 1	Illuminance	Fc	2.78	4.9	1.6	1.74	3.06
PARKING AREA 2	Illuminance	Fc	2.44	3.6	1.5	1.63	2.40
PARKING AREA 3	Illuminance	Fc	2.63	3.7	1.5	1.75	2.47
PARKING AREA 4	Illuminance	Fc	2.78	3.4	1.6	1.74	2.13
PARKING AREA 5	Illuminance	Fc	2.56	3.3	1.6	1.60	2.06
REAR PARKING AREA	Illuminance	Fc	1.36	3.4	0.1	13.60	34.00
WALKWAY 1	Illuminance	Fc	5.14	6.5	3.1	1.66	2.10
WALKWAY 2	Illuminance	Fc	2.35	3.1	1.1	2.14	2.82

IKEA ROCKWALL

Revisions:  
 X XX/XX/XXXX

Drawn By:  
 J. FENTON  
 Date:  
 9/11/2024  
 Scale:  
 N.T.S.  
 Sheet Title:  
 Site Photometrics  
 Sheet No.



# Flood Lights

Optic | Extra-Wide | Extreme

PROJECT INFORMATION	
JOB NAME	
FIXTURE TYPE	Flood Light
CATALOG NUMBER	
APPROVED BY	



### Specifications

**Construction:**  
Designed for commercial and industrial applications, providing cooler operating temperatures, brighter light and longer LED life. Apertures for field or factory installed photocontrol. Heavy duty knuckle with 90° adjustment standard. Heavy duty trunnion mount also available.

**Optics:**  
Atlas optic flood lights utilize individual lenses for maximum light intensity. These lenses are made of optical grade acrylic. This guarantees more footcandles, less glare and less wasted light.

**Extra Wide Distribution Pattern:**  
Designed to provide maximum light spread for short set backs when lighting signs and washing walls.

**Reduced Glare:**  
Positioning of the LED modules within the housing result in light directed to desired locations and reduces offensive light.

**Thermal Management:**  
Atlas Flood Lights are designed as a complete system to optimize LED life and light output. The Patent Pending thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and components. The lower temperatures result in long LED life (200,000+ hrs<sup>1</sup>) and component life and also allows for higher light output.

**Listings:**  
Luminaire is certified to UL/cUL Standards for Wet Locations DesignLights Consortium qualified luminaire, eligible for rebates from DLC member utilities. <sup>2</sup>See chart on other last page for qualifying products.

**AC Input:** 120/208/240/277V

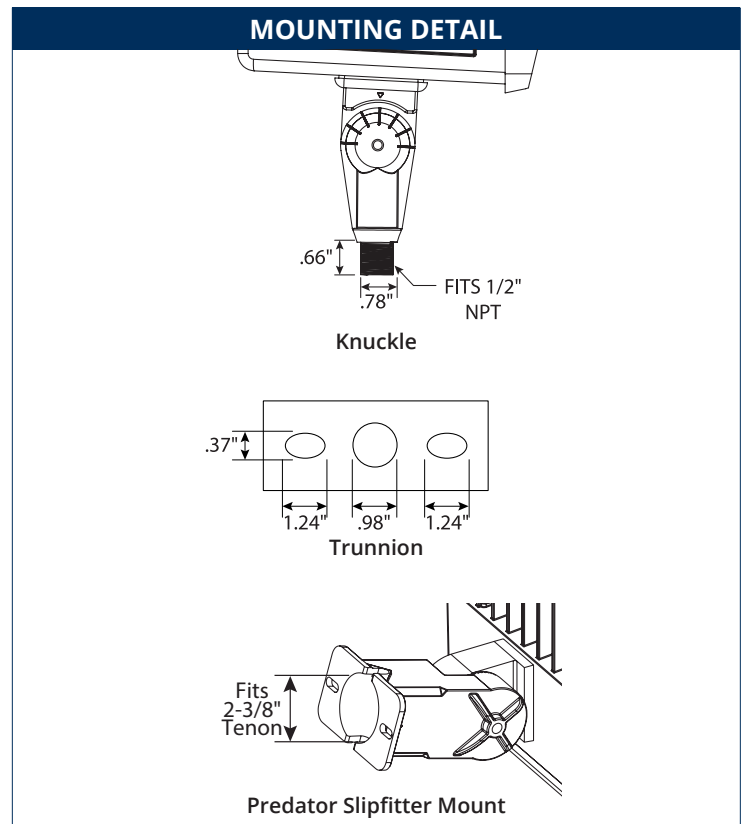
**Driver:**  
Constant current, Class 2, 120-277 VAC, 50-60 Hz  
High Efficiency – min. 84%  
Off-State Power: 0 Watts  
0-10 V Dimming

**LEDs:**  
3000K | 4000K | 4500K | 5000K CCT

**Testing:**  
Atlas LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 & LM-80.

**Warranty:** Five-year limited warranty

**Photo Control:** For factory installed 120V button photo control add suffix PC to part number.



Rebates and Incentives are available in many areas. Contact an Atlas Representative for more information.

<sup>1</sup>LED Life Span Based Upon LM-70 Test Results





# Flood Lights

Optic | Extra-Wide | Extreme

## ORDERING INFORMATION

PFS			22LED						
PRODUCT SERIES	DISTRIBUTION	SELECTABLE	OUTPUT	COLOR TEMP.	CONTROLS	VOLTAGE	FIXTURE COLOR	MOUNTING	OPTIONS
PFS - Small	Blank - Wide (with Optics)	blank = Fixed	22LED = 22 System Watts <sup>1</sup> 27LED = 27 System Watts <sup>2</sup>	Blank = 4500K 3K = 3000K 4K = 4000K 5K = 5000K	Blank = Dimming (0-10V) PC = 120V Photocontrol PM = 120-277V Photocontrol	Blank = 120-277 4 = 347-480V* <i>*Not available on PFS</i>	Blank = Bronze WT = White* BK = Black* <i>*optional with adder</i>	Blank = Knuckle <sup>5</sup> T = Trunnion <sup>5</sup> <i><sup>5</sup>PFS, PFM only</i>	SP = Surge Protection* <i>*Not available on PFS</i>
PFM - Medium	XW - Extra Wide		43LED = 43 System Watts 64LED = 64 System Watts <sup>1</sup>						
PFL2G - Large (2nd Generation)	H = Extreme High Wattage (with Optics)	blank = Fixed	20L = 20,000 Lumens 25L = 25,000 Lumens	3K = 3000K 4K = 4000K 45K = 4500K 5K = 5000K	PH = 480V Button Photocontrol*			Blank = Trunnion <sup>6</sup> S = Predator Mount - Slipfitter/Trunnion <sup>6</sup> <i><sup>6</sup>PFL2G, PFXL2G only</i>	
PFXL2G - Extra Large (2nd Generation)	XW - Extra Wide	blank = Fixed S = Selectable <sup>3</sup>	26-50L = 26,000 - 50,000 Lumens Selectable 33L = 33,000 Lumens 40L = 40,000 Lumens 50L = 50,000 Lumens	blank = Selectable <sup>4</sup> 4000K, 4500K, 5000K	PR = Photo Receptacle* <i>*Not available on PFS, PFM</i>				

<sup>1</sup>Wide/H only | <sup>2</sup>Extra-wide only | <sup>3</sup>PFXL2GH is Lumen Selectable only | <sup>4</sup>PFXL2GXW only

## PERFORMANCE DATA

### FULLY SELECTABLE

UNIT	CRI	4000K CCT		4500K CCT		5000K CCT		WATTAGE	REPLACES UP TO
		DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)		
<b>Extra Wide</b>									
PFXL2GXWS26-50L	70	28,506	160	29,756	167	27,941	157	178	1000W MH
		42,003	151	43,845	158	41,170	148	278	
		52,133	143	54,419	156	51,099	140	365	

### LUMEN SELECTABLE

UNIT	CRI	3000K CCT		4000K CCT		4500K CCT		5000K CCT		WATTAGE	REPLACES UP TO
		DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)		
<b>Optic</b>											
PFXL2GHS26-50L	70	24,332	144	25,582	152	25,437	151	25,353	150	169	1000W MH
		36,518	141	38,394	148	38,176	148	38,051	147	259	
		47,818	133	50,275	139	49,989	138	49,825	138	361	

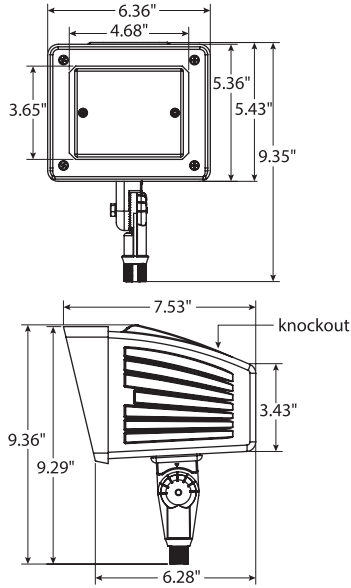
### FIXED

UNIT	CRI	3000K CCT		4000K CCT		4500K CCT		5000K CCT		WATTAGE	REPLACES UP TO
		DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)		
<b>Optic</b>											
PFS22	70	1,978	93	1,978	93	1,978	93	2,194	103	21	100W MH
PFM43	70	4,010	97	4,010	97	4,010	97	4,343	105	41	175W MH
PFL2GH20L	70	20,200	142	21,338	150	21,338	150	21,534	152	142	400W MH
PFL2GH25L	70	24,840	138	26,240	147	26,240	147	26,480	148	181	1000W MH
PFXL2GH33L	70	31,190	143	32,849	150	32,849	150	33,408	153	219	1000W MH
PFXL2GH40L	70	37,020	139	38,989	147	38,989	147	39,653	149	266	1000W MH
PFXL2GH50L	70	47,390	132	49,910	141	49,910	141	50,760	142	359	1000W MH
<b>Extra Wide</b>											
PFSXW27	80	3,132	114	3,132	114	3,132	114	3,261	118	28	100W MH
PFMXW43	80	5,025	116	5,025	116	5,025	116	5,229	121	43	175W MH
PFMXW64	80	6,983	114	6,983	114	6,983	114	7,237	118	64	250W MH
PFL2GXW20L	70	20,540	144	20,540	144	20,540	144	21,750	153	142	400W MH
PFL2GXW25L	70	25,040	139	25,040	139	25,040	139	25,040	139	180	1000W MH
PFXL2GXW33L	70	33,210	151	33,210	151	33,210	151	33,210	151	220	1000W MH
PFXL2GXW40L	70	39,430	148	39,430	148	39,430	148	39,430	148	267	1000W MH
PFXL2GXW50L	70	50,130	141	50,130	141	50,130	141	50,130	141	357	1000W MH

### DIMENSIONS

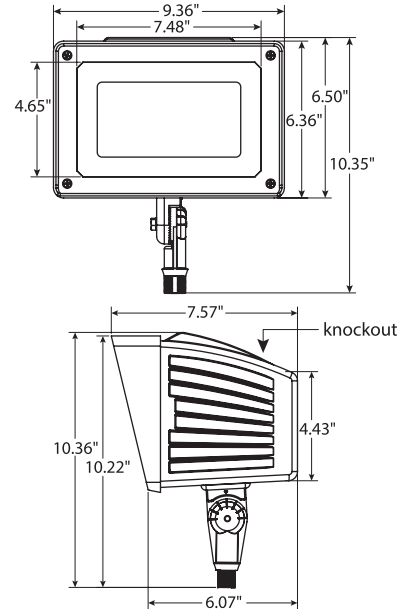
#### PFS

Weight: 7 lbs.  
EPA: 0.33



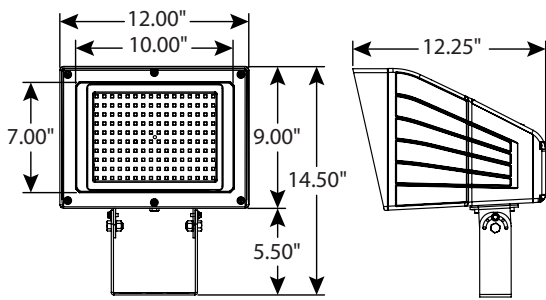
#### PFM

Weight: 10 lbs.  
EPA: 0.47

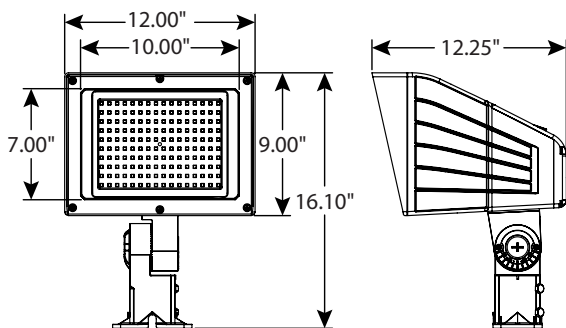


#### PFL2G

Weight: 26 lbs.  
EPA: 1.00



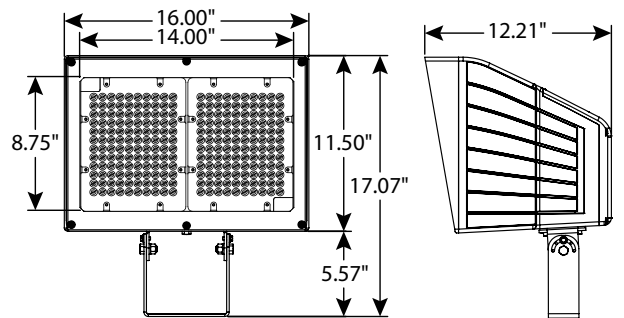
Weight: 27 lbs.



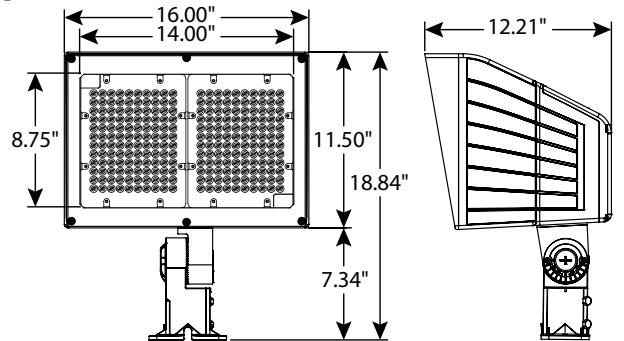
Predator Slipfitter Mount

#### PFXL2G

Weight: 44 lbs.  
EPA: 1.29



Weight: 46 lbs.



Predator Slipfitter Mount



**Flood Lights**  
Optic | Extra-Wide | Extreme

**DLC PRODUCT INFORMATION**

**FIXED**

UNIT	3000K CCT		4000K CCT		4500K CCT		5000K CCT	
	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION
<b>Optic</b>								
PFS22	n/a	n/a	PU6VKAK3	Standard	P0000053U	Standard	P550R0NT	Standard
PFM43	n/a	n/a	PU8IIKR4	Standard	P0000053V	Standard	PBE0VYUZ	Standard
PFL2GH20L	P9DPY9A8	Premium	PXYAN2V	Premium	PXVX6GOY	Premium	PPMF1TG3	Premium
PFL2GH25L	PAOZ3UX6	Standard	P9D3MG0T	Standard	P7DB3PMC	Standard	P45HS3BQ	Standard
PFXL2GH33L	P21MYCMQ	Standard	PPHKNRV6	Standard	PHA1Z49A	Standard	P53FHFVBV	Standard
PFXL2GH40L	P5FNN10Y	Standard	PL90OHII	Standard	PZ73ACRC	Standard	PEEKL7ES	Standard
PFXL2GH50L	PI5RM3HT	Standard	PTK83KDD	Standard	PJA8IFTB	Standard	PK9GAGSY	Standard
<b>Extra Wide</b>								
PFSXW27	PAYQD7J8	Standard	P94MDVWZ	Standard	P87AHLDJ	Standard	PT6Z0U5F	Premium
PFMXW43	P825UL5Y	Standard	PPGDGXG1Y	Standard	P22PSA1E	Standard	PR4TUEWL	Premium
PFL2GXW20L	PJDFFSCH	Premium	PQ27J8OP	Premium	P8Y4OK29	Premium	PM79G31X	Premium
PFL2GXW25L	PWQYIBGY	Standard	P8L3DDB0	Standard	PKRX0DR9	Standard	PMARR9HA	Standard
PFXL2GXW33L	PUZUQSMG	Standard	PNOFAYZX	Standard	P72CGKXB	Standard	PYE73KJF	Standard
PFXL2GXW40L	PDRO14D5	Standard	PTQDRWWT	Standard	P00OBNMM	Standard	PPYNOR9N	Standard
PFXL2GXW50L	PWQYIBGY	Standard	P8L3DDB0	Standard	PKRX0DR9	Standard	PMARR9HA	Standard

**LUMEN SELECTABLE**

UNIT	3000K CCT		4000K CCT		4500K CCT		5000K CCT	
	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION
<b>Optic</b>								
PFXL2GXW50L	<i>coming soon</i>		<i>coming soon</i>		<i>coming soon</i>		<i>coming soon</i>	

**FULLY SELECTABLE**

UNIT	DLC Product ID	Classification
<b>Extra Wide</b>		
PFXL2GXWS26-50L	S-N289T1	Premium

# VIPER Area/Site

VIPER LUMINAIRE

## FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Lighting Controls™, LightGRID+ and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



## CONTROL TECHNOLOGY



## SERVICE PROGRAMS



## SPECIFICATIONS

### CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

### OPTICS

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

### INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles
- All mounting hardware included
- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended

### ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options cannot be combined

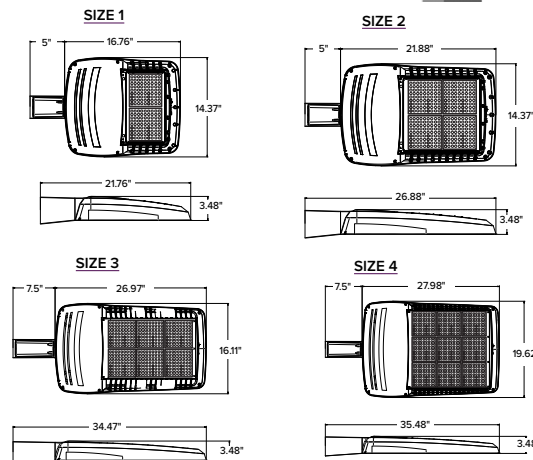
### CONTROLS







- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)

### CONTROLS (CONTINUED)

- 0-10V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- LightGRID+ available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

## MICRO STRIKE | STRIKE OPTICS



	EPA				Config
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

### CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations listed in this document are DLC® qualified. Refer to <http://www.designlights.org> for the most up-to-date list.
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to <https://www.currentlighting.com/resources/america-solutions>).

### WARRANTY

- 5 year warranty

# VIPER Area/Site

VIPER LUMINAIRE

## MICROSTRIKE OPTICS – ORDERING GUIDE

Gray Shading = Service Program Limit of 15 luminaires

**Example:** VP-2-320L-145-3K7-2-R-UNV-A3-BLT

CATALOG # \_\_\_\_\_

VP Series	Optic Platform	Size	Light Engine	CCT/CRI	Distribution	Optic Rotation	Voltage
VP Viper	Micro Strike	1 Size 1	<b>160L-35</b> <sup>6</sup> 5500 lumens <b>160L-50</b> <sup>6</sup> 7500 lumens <b>160L-75</b> 10000 lumens <b>160L-100</b> 12500 lumens <b>160L-115</b> 15000 lumens <b>160L-135</b> 18000 lumens <b>160L-160</b> 21000 lumens <b>320L-145</b> 21000 lumens <b>320L-170</b> 24000 lumens <b>320L-185</b> 27000 lumens <b>320L-210</b> 30000 lumens <b>320L-235</b> 33000 lumens <b>320L-255</b> 36000 lumens <b>320L-315</b> <sup>6</sup> 40000 lumens <b>480L-285</b> 40000 lumens <b>480L-320</b> 44000 lumens <b>480L-340</b> 48000 lumens <b>480L-390</b> 52000 lumens <b>480L-425</b> 55000 lumens <b>480L-470</b> 60000 lumens <b>720L-435</b> 60000 lumens <b>720L-475</b> 65000 lumens <b>720L-515</b> 70000 lumens <b>720L-565</b> <sup>6</sup> 75000 lumens <b>720L-600</b> <sup>6</sup> 80000 lumens <b>CLO</b> Custom Lumen Output <sup>1</sup>	<b>AP</b> AP-Amber Phosphor Converted <b>27K8</b> 2700K, 80 CRI <b>3K7</b> 3000K, 70 CRI <b>3K8</b> 3000K, 80 CRI <b>35K8</b> 3500K, 80 CRI <b>3K9</b> 3000K, 90 CRI <b>4K7</b> 4000K, 70 CRI <b>4K8</b> 4000K, 80 CRI <b>4K9</b> 4000K, 90 CRI <b>5K7</b> 5000K, 70 CRI <b>5K8</b> 5000K, 80 CRI	<b>2</b> Type 2 <b>3</b> Type 3 <b>4F</b> Type 4 Forward <b>4W</b> Type 4 Wide <b>5QW</b> Type 5 Square Wide	<b>BLANK</b> <b>No Rotation</b> <b>L</b> Optic rotation left <b>R</b> Optic rotation right	<b>UNV</b> 120-277V <b>120</b> 120V <b>208</b> 208V <b>240</b> 240V <b>277</b> 277V <b>347</b> 347V <b>480</b> 480V
		2 Size 2					
		3 Size 3					
		4 Size 4					

Mounting	
<b>A</b>	Arm mount for square pole/flat surface (B3 Drill Pattern) (Does not include round pole adapter)
<b>A_</b>	Arm mount for round pole <sup>2</sup>
<b>ASQU</b>	Universal arm mount for square pole. Can be used with B3 or S2 Drill Pattern
<b>A_U</b>	Universal arm mount for round pole <sup>2</sup>
<b>AAU</b>	Adjustable arm for pole mounting (universal drill pattern)
<b>AA_U</b>	Adjustable arm mount for round pole <sup>2</sup>
<b>ADU</b>	Decorative upswept Arm (universal drill pattern)
<b>AD_U</b>	Decorative upswept arm mount for round pole <sup>2</sup>
<b>MAF</b>	Mast arm fitter for 2-3/8" OD horizontal arm
<b>K</b>	Knuckle
<b>T</b>	Trunnion
<b>WB</b>	Wall Bracket, horizontal tenon with MAF
<b>WM</b>	Wall mount bracket with decorative upswept arm
<b>WA</b>	Wall mount bracket with adjustable arm

Color	
<b>BLT</b>	Black Matte Textured
<b>BLS</b>	Black Gloss Smooth
<b>DBT</b>	Dark Bronze Matte Textured
<b>DBS</b>	Dark Bronze Gloss Smooth
<b>GTT</b>	Graphite Matte Textured
<b>LGS</b>	Light Grey Gloss Smooth
<b>LGT</b>	Light Grey Gloss Textured
<b>PSS</b>	Platinum Silver Smooth
<b>WHT</b>	White Matte Textured
<b>WHS</b>	White Gloss Smooth
<b>VGT</b>	Verde Green Textured
Color Option	
<b>CC</b>	Custom Color

Options	
<b>F</b>	Fusing
<b>2PF</b>	Dual Power Feed
<b>2DR</b>	Dual Driver
<b>TE</b>	Toolless Entry
<b>BC</b>	Backlight Control <sup>8</sup>
<b>TB</b>	Terminal Block

Network Control Options	
<b>NXWS16F</b>	NX Networked Wireless Enabled Integral NX SMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming <sup>1,3,4</sup>
<b>NXWS40F</b>	NX Networked Wireless Enabled Integral NX SMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming <sup>1,3,4</sup>
<b>NXW</b>	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor <sup>3,4</sup>
<b>WIR</b>	LightGRID+ In-Fixture Module <sup>3,4</sup>
<b>WIRSC</b>	LightGRID+ Module and Occupancy Sensor <sup>3,4</sup>
Stand Alone Sensors	
<b>BTS-14F</b>	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
<b>BTS-40F</b>	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
<b>BTSO-12F</b>	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
<b>7PR</b>	7-Pin Receptacle <sup>4</sup>
<b>7PR-SC</b>	7-Pin Receptacle with shorting cap <sup>4</sup>
<b>3PR</b>	3-Pin twist lock <sup>4</sup>
<b>3PR-SC</b>	3-Pin receptacle with shorting cap <sup>4</sup>
<b>3PR-TL</b>	3-Pin PCR with photocontrol <sup>4</sup>
Programmed Controls	
<b>SCP-_F</b>	Sensor Control Programmable, 8F or 40F <sup>9</sup>
<b>ADD</b>	AutoDim Timer Based Dimming <sup>4</sup>
<b>ADT</b>	AutoDim Time of Day Dimming <sup>4</sup>
Photocontrols	
<b>PC</b>	Button Photocontrol <sup>4,7</sup>

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information  
 2 – Replace “\_” with “3” for 3.5”-4.13” OD pole, “4” for 4.18”-5.25” OD pole, “5” for 5.5”-6.5” OD pole  
 3 – Networked Controls cannot be combined with other control options  
 4 – Not available with 2PF option  
 5 – Not available with Dual Driver option

6 – Some voltage restrictions may apply when combined with controls  
 7 – Not available with 480V  
 8 – BC not available on 4F and type 5 distributions  
 9 – At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.

# VIPER Area/Site

VIPER LUMINAIRE

## STRIKE OPTIC – ORDERING GUIDE

**Example:** VP-ST-1-36L-39-3K7-2-UNV-A-BLT

CATALOG # \_\_\_\_\_

VP Series	Optic Platform	Size	Light Engine	CCT/CRI	Distribution	Optic Rotation	Voltage
VP Viper	ST Strike	1 Size 1	<b>36L-39</b> <sup>8</sup> 5500 lumens <b>36L-55</b> <sup>8</sup> 7500 lumens <b>36L-85</b> 10000 lumens <b>36L-105</b> 12500 lumens <b>36L-120</b> 14000 lumens	<b>AM</b> monochromatic amber, 595nm  <b>27K8</b> 2700K, 80 CRI <b>3K7</b> 3000K, 70 CRI <b>3K8</b> 3000K, 80 CRI <b>3K9</b> 3000K, 90 CRI <b>35K8</b> 3500K, 80 CRI <b>4K7</b> 4000K, 70 CRI <b>4K8</b> 4000K, 80 CRI <b>4K9</b> 4000K, 90 CRI <b>5K7</b> 5000K, 70 CRI <b>5K8</b> 5000K, 80 CRI	<b>FR</b> Auto Front Row <b>2</b> Type 2 <b>3</b> Type 3 <b>4F</b> Type 4 Forward <b>4W</b> Type 4 Wide <b>5QN</b> Type 5 Square Narrow <b>5QW</b> Type 5 Square Wide <b>5QM</b> Type 5 Square Medium <b>5W</b> Type 5 Wide (Round) <b>5RW</b> Type 5 Rectangular <b>C</b> Corner Optic <b>TC</b> Tennis Court Optic	<b>BLANK</b> <b>No Rotation</b> <b>L</b> Optic rotation left <b>R</b> Optic rotation right	<b>UNV</b> 120-277V <b>120</b> 120V <b>208</b> 208V <b>240</b> 240V <b>277</b> 277V <b>347</b> 347V <b>480</b> 480V
		2 Size 2	<b>72L-115</b> 15000 lumens <b>72L-145</b> 18000 lumens <b>72L-180</b> 21000 lumens <b>72L-210</b> 24000 lumens <b>72L-240</b> 27000 lumens				
		3 Size 3	<b>108L-215</b> <sup>8</sup> 27000 lumens <b>108L-250</b> 30000 lumens <b>108L-280</b> 33000 lumens <b>108L-325</b> 36000 lumens <b>108L-365</b> 40000 lumens				
		4 Size 4	<b>162L-320</b> 40000 lumens <b>162L-365</b> <sup>10</sup> 44000 lumens <b>162L-405</b> 48000 lumens <b>162L-445</b> 52000 lumens <b>162L-485</b> 55000 lumens <b>162L-545</b> <sup>8</sup> 60000 lumens <b>CLO</b> Custom Lumen Output <sup>1</sup>				

Mounting	
<b>A</b>	Arm mount for square pole/flat surface
<b>A_</b>	Arm mount for round pole <sup>3</sup>
<b>ASQU</b>	Universal arm mount for square pole
<b>A_U</b>	Universal arm mount for round pole <sup>3</sup>
<b>AAU</b>	Adjustable arm for pole mounting (universal drill pattern)
<b>AA_U</b>	Adjustable arm mount for round pole <sup>3</sup>
<b>ADU</b>	Decorative upswept Arm (universal drill pattern)
<b>AD_U</b>	Decorative upswept arm mount for round pole <sup>3</sup>
<b>MAF</b>	Mast arm fitter for 2-3/8" OD horizontal arm
<b>K</b>	Knuckle
<b>T</b>	Trunnion
<b>WB</b>	Wall Bracket, horizontal tenon with MAF
<b>WM</b>	Wall mount bracket with decorative upswept arm
<b>WA</b>	Wall mount bracket with adjustable arm

Color	
<b>BLT</b>	Black Matte Textured
<b>BLS</b>	Black Gloss Smooth
<b>DBT</b>	Dark Bronze Matte Textured
<b>DBS</b>	Dark Bronze Gloss Smooth
<b>GTT</b>	Graphite Matte Textured
<b>LGS</b>	Light Grey Gloss Smooth
<b>LGT</b>	Light Grey Gloss Textured
<b>PSS</b>	Platinum Silver Smooth
<b>WHT</b>	White Matte Textured
<b>WHS</b>	White Gloss Smooth
<b>VGT</b>	Verde Green Textured
Color Option	
<b>CC</b>	Custom Color

Options	
<b>F</b>	Fusing
<b>E</b>	Battery Backup <sup>1,2,7,8,9</sup>
<b>2PF</b>	Dual Power Feed
<b>2DR</b>	Dual Driver
<b>TE</b>	Tooless Entry
<b>BC</b>	Backlight Control
<b>TB</b>	Terminal Block

Network Control Options	
<b>NXWS16F</b>	NX Networked Wireless Enabled Integral NXSM2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming <sup>1,4,5</sup>
<b>NXWS40F</b>	NX Networked Wireless Enabled Integral NXSM2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming <sup>1,4,5</sup>
<b>NXW</b>	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor <sup>4,5</sup>
<b>WIR</b>	LightGRID+ In-Fixture Module <sup>4,5</sup>
<b>WIRSC</b>	LightGRID+ Module and Occupancy Sensor <sup>4,5</sup>
Stand Alone Sensors	
<b>BTS-14F</b>	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
<b>BTS-40F</b>	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming® Photocell and 360° Lens
<b>BTSO-12F</b>	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
<b>7PR</b>	7-Pin Receptacle <sup>4</sup>
<b>7PR-SC</b>	7-Pin Receptacle with shorting cap <sup>4</sup>
<b>3PR</b>	3-Pin twist lock <sup>4</sup>
<b>3PR-SC</b>	3-Pin receptacle with shorting cap <sup>4</sup>
<b>3PR-TL</b>	3-Pin PCR with photocontrol <sup>4</sup>
Programmed Controls	
<b>SCP_F</b>	Sensor Control Programmable, 8F or 40F <sup>11</sup>
<b>ADD</b>	AutoDim Timer Based Dimming <sup>4</sup>
<b>ADT</b>	AutoDim Time of Day Dimming <sup>4</sup>
Photocontrols	
<b>PC</b>	Button Photocontrol <sup>4,7</sup>

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information  
 2 – Battery temperature rating -20C to 55C  
 3 – Replace “\_” with “3” for 3.5”-4.13” OD pole, “4” for 4.18”-5.25” OD pole, “5” for 5.5”-6.5” OD pole  
 4 – Networked Controls cannot be combined with other control options  
 5 – Not available with 2PF option  
 6 – Not available with 480V  
 7 – Not available with 347 or 480V  
 8 – Not available with Dual Driver option

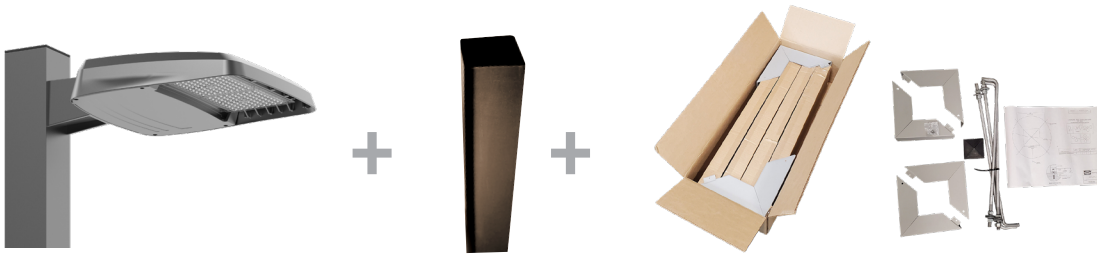
9 – Only available in Size 1 housing, up to 105 Watts  
 10 – Some voltage restrictions may apply when combined with controls  
 11 – At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.



# VIPER Area/Site

VIPER LUMINAIRE

## VIPER POLE EXPRESS COMBO – ORDERING GUIDE



Catalog Number	Pole	Single or Double Head	Fixture	Lumens*	Wattage	Distribution	CCT/CRI	Mounting	Finish
VP-1-160-4K-3-LS-S20	20' Square Straight Steel	Single	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S20	20' Square Straight Steel	Single	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S25	25' Square Straight Steel	Single	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S25	25' Square Straight Steel	Single	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S20	20' Square Straight Steel	Single	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S20	20' Square Straight Steel	Single	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S25	25' Square Straight Steel	Single	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S25	25' Square Straight Steel	Single	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured

## VIPER POLE EXPRESS COMBO – STOCK LUMINAIRE SKUS

Catalog Number	Lumens	LPW	Distribution	Wattage	CCT/CRI	Voltage	Mounting	Finish
VP-1-160-4K-3-LS	19584	123.9	3	158W	4000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-4K-4F-LS	19426	122.9	4F	158W	4000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-5K-3-LS	19499	123.4	3	158W	5000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-5K-4F-LS	19186	121.4	4F	158W	5000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured

## VIPER POLE EXPRESS COMBO – ACCESSORIES

Catalog Number	Description
VM14DB	Vibration Dampener, mounts to top of pole for reduced vibration















# VIPER Area/Site

VIPER LUMINAIRE

## OUTDOOR LIGHTING CONTROLS OPTIONS    CONTROLS FUNCTIONALITY    LIGHT GRID<sup>+</sup>

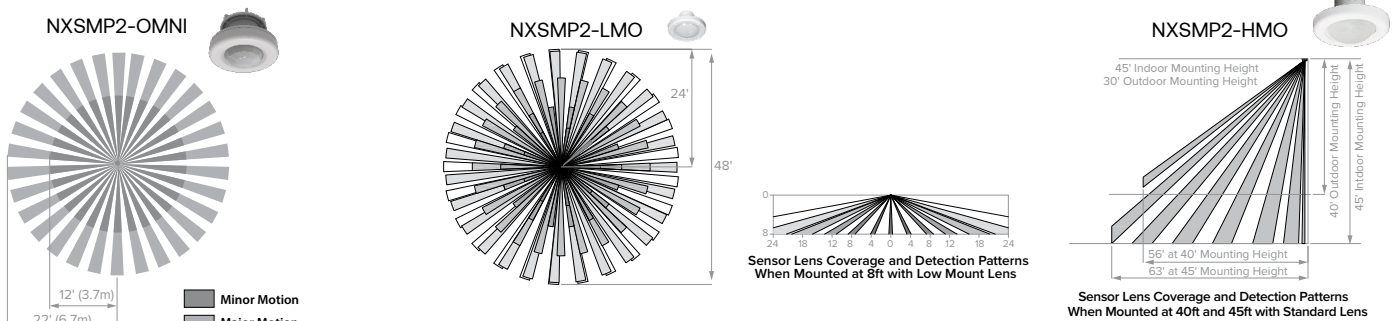
Control Option Ordering Logic & Description	Control Option Functionality										Control Option Components
	Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height		
<b>NX Wireless</b> NXOFMIRID-UNV NX 7-Pin Twist-Lock® with NX Networked Wireless Radio, Integral Automatic Dimming Photocell, Integral Single Pole Relay with Dimming, and Bluetooth Programming	✓	✓	✓	Paired with external control	✓	✓	✓	✓	-		NXOFM-IRID-UV
NXW NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor	✓	✓	✓	-	-	✓	✓	✓	-		NXRM2-H
NXWS12F NX Networked Wireless Enabled Integral NXSMP2-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	12ft		NXSMP2-OMNI-O
NXWS16F NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	16ft		NXSMP2-LMO
NXWS40F NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	40ft		NXSMP2-HMO
<b>LightGRID+</b> WIR LightGRID+ In-Fixture Module	✓	-	✓	-	-	✓	✓	Gateway	-		WIR
WIR-RME-L LightGRID+ On Fixture Module	✓	-	✓	-	-	✓	✓	Gateway	-		WIR-RME-L
WIRSC LightGRID+ Module and Occupancy Sensor	✓	✓	✓	✓	✓	✓	✓	Gateway	14ft - 40ft		BTMSP
<b>Independent</b> BTSO-12F Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	12ft		BTSMP-OMNI-O
BTS-14F Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	14ft		BTSMP-LMO
BTS-40F Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	40ft		BTSMP-HMO

### DEFAULT SETTINGS

<b>NX Wireless</b>	<b>Occupancy Sensor</b>	Enabled
	<b>Occupancy Sensor Sensitivity</b>	7
	<b>Occupancy Sensor Timeout</b>	15 Minutes
	<b>Occupied Dim Level</b>	100%
	<b>Unoccupied Dim Level</b>	0%
	<b>Daylight Sensor</b>	Disabled
	<b>Bluetooth</b>	Enabled
	<b>2.4GHz Wireless Mesh</b>	On
	<b>*Passcode Factory Passcode: HubbN3T!*</b>	Enabled

<b>Stand Alone</b>	<b>Occupancy Sensor</b>	Enabled
	<b>Occupancy Sensor Sensitivity</b>	7
	<b>Occupancy Sensor Timeout</b>	8 Minutes
	<b>Occupied Dim Level</b>	100%
	<b>Unoccupied Dim Level</b>	50%
	<b>Daylight Sensor</b>	Disabled

### NX WIRELESS COVERAGE PATTERNS



# VIPER Area/Site

VIPER LUMINAIRE

## NX LIGHTING CONTROLS FREE APP

## CONTROLS TECH SUPPORT 800-888-8006 (7:00 AM - 7:00 PM)



The NX Lighting Controls App is free to use mobile application for programming both NX Lighting Controls System or Standalone Bluetooth Sensors. The mobile app allows you to configure devices, discover and setup wireless enable luminaires and program NX system settings.

Apple App: <https://apps.apple.com/us/app/nx-lighting-controls/id962112904>

Google Play: [https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en\\_US&q=US](https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en_US&q=US)






Apple App

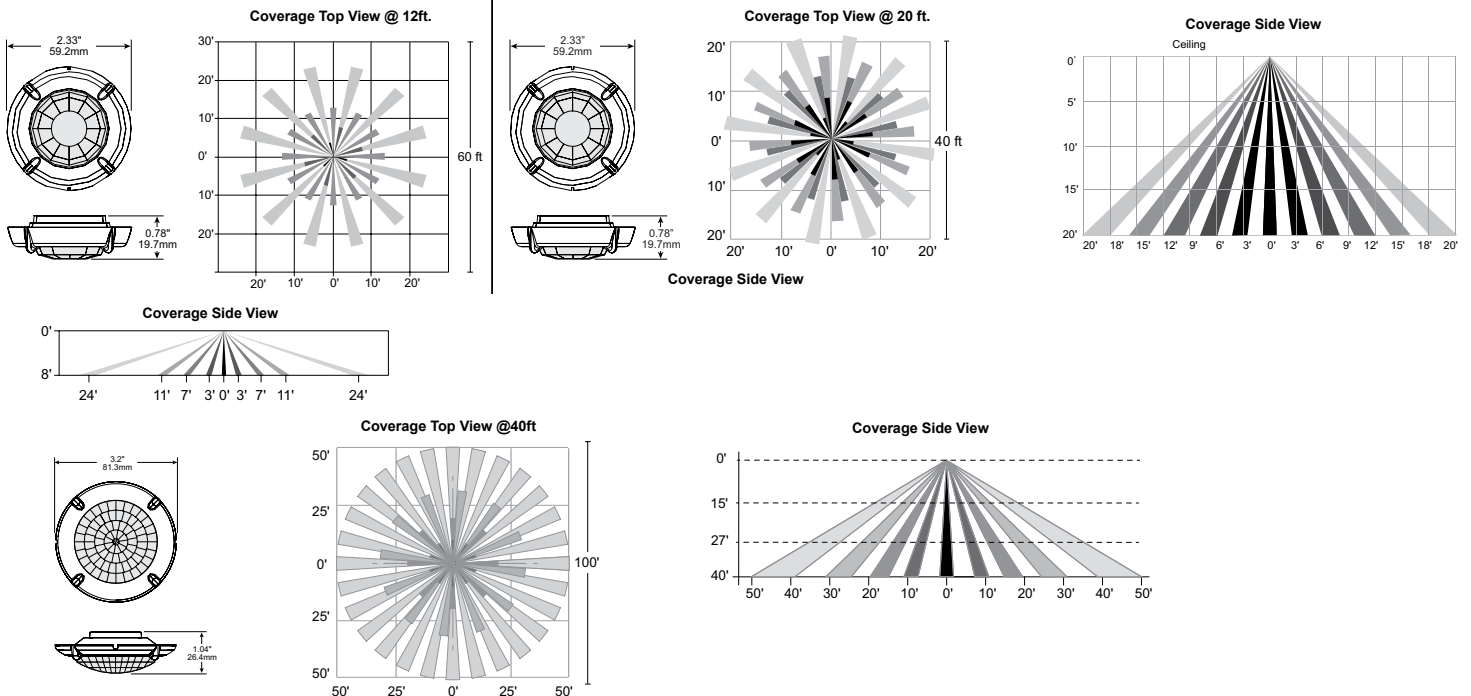


Google Play

## OUTDOOR LIGHTING CONTROLS OPTIONS    CONTROLS FUNCTIONALITY

Control Option Ordering Logic & Description	Control Option Functionality										Control Option Components
	Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height		
SCP_F    Sensor Control Programmable, 8F or 40F	-	-	-	✓	✓	✓	✓	-	8ft or 40ft	SCP_F	
ADD    AutoDIM Timer Based Dimming	-	-	✓	-	-	-	✓	-	-	ADD	
ADT    AutoDIM Time of Day Dimming	-	-	✓	-	-	-	✓	-	-	ADT	
7PR    7-Pin Receptacle	-	-	Paired with external control	-	Paired with external control	-	Paired with external control	-	-	7PR	
7PR-SC    7-Pin Receptacle with shorting cap	-	-	-	-	-	-	-	-	-	 7PR-SC	
3PR    3-Pin twist lock	-	-	-	-	-	-	Paired with external control	-	-	3PR	
3PR-SC    3-Pin Receptacle with shorting cap	-	-	-	-	-	-	-	-	-	 3PR-SC	
3PR-TL    3-Pin with photocontrol	-	-	-	-	✓	-	✓	-	-	 3PR-TL	

## COVERAGE PATTERNS FOR SCP\_F



# VIPER Area/Site

VIPER LUMINAIRE

## PROGRAMMED CONTROLS

### ADD-AutoDim Timer Based Options

- Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6 - Delay 6 hours
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50% brightness
Auto-Dim Return	Delay 0-9 Hours	R6 - Return to full output after 6 hours

### ADT-AutoDim Time of Day Based Option

- Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6 - Dim at 6PM
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50%
Auto-Dim Return	12-6 AM and 9-11P	R6 - Return to full output at 6AM

## DELIVERED LUMENS

For delivered lumens, please see Lumens Data PDF on [www.Currentlighting.com](http://www.Currentlighting.com)

## PROJECTED LUMEN MAINTENANCE

Ambient Temp.	0	25,000	*TM-21-11 36,000	50,000	100,000	Calculated L <sub>70</sub> (Hours)
25°C / 77°F	1.00	0.97	0.96	0.95	0.91	408,000
40°C / 104°F	0.99	0.96	0.95	0.94	0.89	356,000

## LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier	Micro Strike Lumen Multiplier				Strike Lumen Multiplier				
CCT	°C	°F	CCT	70 CRI	80 CRI	90 CRI	CCT	70 CRI	80 CRI	90 CRI	
	0°C	32°F					2700K	0.9	0.81	0.62	
	10°C	50°F					3000K	0.933	0.853	0.659	
	20°C	68°F					3500K	0.959	0.894	0.711	
	25°C	77°F					4000K	1	0.9	0.732	
	30°C	86°F					5000K	1	0.9	0.732	
	40°C	104°F					Monochromatic Amber Multiplier				
			AP-Amber Phosphor Converted Multiplier				Amber	See Amber Spec Sheet			
			Amber	0.710							

# VIPER Area/Site

VIPER LUMINAIRE

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## ELECTRICAL DATA: MICRO STRIKE

# OF LEDS	160						
NOMINAL WATTAGE	35	50	75	100	115	135	160
SYSTEM POWER (W)	34.9	50.5	72.1	97.2	111.9	132.2	157.8
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	0.29	0.42	0.63	0.83	0.96	1.13	1.33
208	0.17	0.24	0.36	0.48	0.55	0.65	0.77
240	0.15	0.21	0.31	0.42	0.48	0.56	0.67
277	0.13	0.18	0.27	0.36	0.42	0.49	0.58
347	0.10	0.14	0.22	0.29	0.33	0.39	0.46
480	0.07	0.10	0.16	0.21	0.24	0.28	0.33

# OF LEDS	320						
NOMINAL WATTAGE	145	170	185	210	235	255	315
SYSTEM POWER (W)	150	166.8	185.7	216.2	240.9	261.5	312
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	1.21	1.42	1.54	1.75	1.96	2.13	2.63
208	0.70	0.82	0.89	1.01	1.13	1.23	1.51
240	0.60	0.71	0.77	0.88	0.98	1.06	1.31
277	0.52	0.61	0.67	0.76	0.85	0.92	1.14
347	0.42	0.49	0.53	0.61	0.68	0.73	0.91
480	0.30	0.35	0.39	0.44	0.49	0.53	0.66

# OF LEDS	480					
NOMINAL WATTAGE	285	320	340	390	425	470
SYSTEM POWER (W)	286.2	316.7	338.4	392.2	423.2	468
INPUT VOLTAGE (V)	CURRENT (Amps)					
120	2.38	2.67	2.83	3.25	3.54	3.92
208	1.37	1.54	1.63	1.88	2.04	2.26
240	1.19	1.33	1.42	1.63	1.77	1.96
277	1.03	1.16	1.23	1.41	1.53	1.70
347	0.82	0.92	0.98	1.12	1.22	1.35
480	0.59	0.67	0.71	0.81	0.89	0.98

# OF LEDS	720				
NOMINAL WATTAGE	435	475	515	565	600
SYSTEM POWER (W)	429.3	475	519.1	565.2	599.9
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	3.63	3.96	4.29	4.71	5.00
208	2.09	2.28	2.48	2.72	2.88
240	1.81	1.98	2.15	2.35	2.50
277	1.57	1.71	1.86	2.04	2.17
347	1.25	1.37	1.48	1.63	1.73
480	0.91	0.99	1.07	1.18	1.25

# VIPER Area/Site

VIPER LUMINAIRE

## ELECTRICAL DATA: STRIKE

# OF LEDS	36				
NOMINAL WATTAGE	39	55	85	105	120
SYSTEM POWER (W)	39.6	56.8	83.6	108.2	120.9
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	0.33	0.46	0.71	0.88	0.96
208	0.19	0.26	0.41	0.50	0.55
240	0.16	0.23	0.35	0.44	0.48
277	0.14	0.20	0.31	0.38	0.42
347	0.11	0.16	0.24	0.30	0.33
480	0.08	0.11	0.18	0.22	0.24

# OF LEDS	72				
NOMINAL WATTAGE	115	145	180	210	240
SYSTEM POWER (W)	113.7	143.2	179.4	210.2	241.7
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	1.00	1.21	1.50	1.75	1.79
208	0.58	0.70	0.87	1.01	1.03
240	0.50	0.60	0.75	0.88	0.90
277	0.43	0.52	0.65	0.76	0.78
347	0.35	0.42	0.52	0.61	0.62
480	0.25	0.30	0.38	0.44	0.45

# OF LEDS	108				
NOMINAL WATTAGE	215	250	280	325	365
SYSTEM POWER (W)	214.8	250.8	278.3	324.7	362.6
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	2.00	2.08	2.33	3.04	2.67
208	1.15	1.20	1.35	1.75	1.54
240	1.00	1.04	1.17	1.52	1.33
277	0.87	0.90	1.01	1.32	1.16
347	0.69	0.72	0.81	1.05	0.92
480	0.50	0.52	0.58	0.76	0.67

# OF LEDS	162					
NOMINAL WATTAGE	320	365	405	445	485	545
SYSTEM POWER (W)	322.1	362.6	403.6	445.1	487.1	543.9
INPUT VOLTAGE (V)	CURRENT (Amps)					
120	2.71	2.67	3.38	3.71	4.04	4.54
208	1.56	1.54	1.95	2.14	2.33	2.62
240	1.35	1.33	1.69	1.85	2.02	2.27
277	1.17	1.16	1.46	1.61	1.75	1.97
347	0.94	0.92	1.17	1.28	1.40	1.57
480	0.68	0.67	0.84	0.93	1.01	1.14

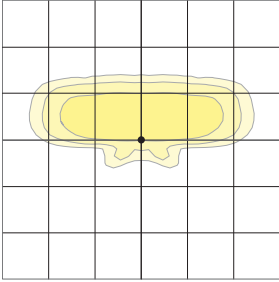
# VIPER Area/Site

VIPER LUMINAIRE

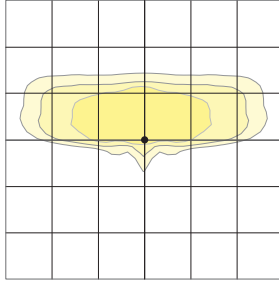
## MICRO STRIKE PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see website photometric test reports.

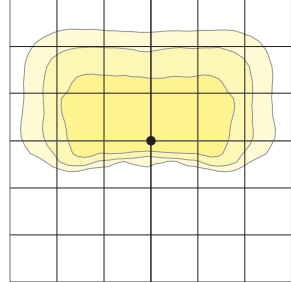
Type 2



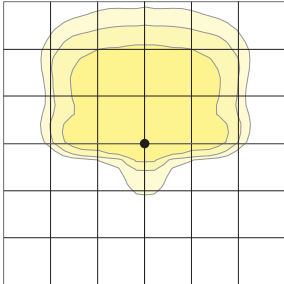
Type 3



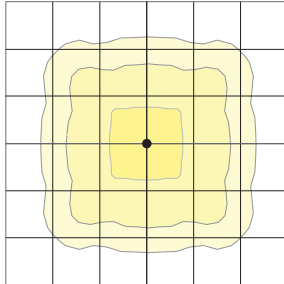
Type 4 Wide



Type 4F



Type 5QW



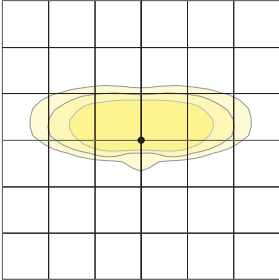
# VIPER Area/Site

VIPER LUMINAIRE

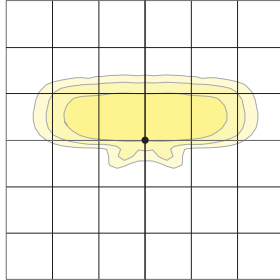
## OPTIC STRIKE PHOTOMETRY

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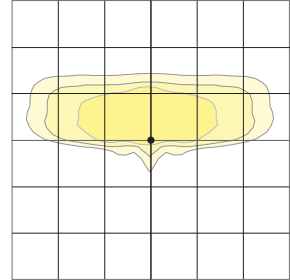
Type FR – Front Row/Auto Optic



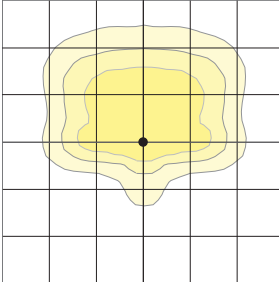
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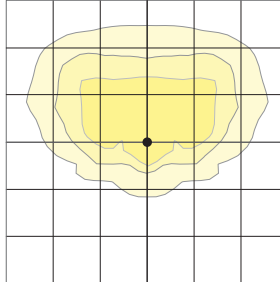
Type 3



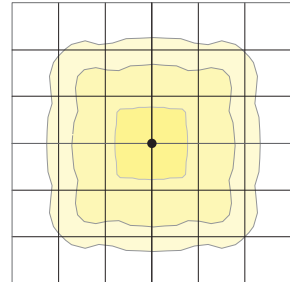
Type 4 Forward



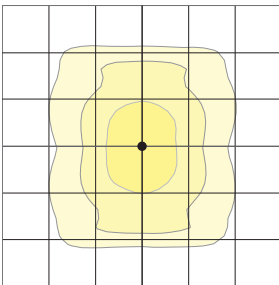
Type 4 Wide



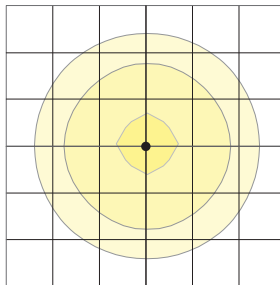
Type 5QM



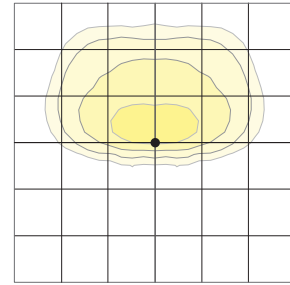
Type 5RW (rectangular)



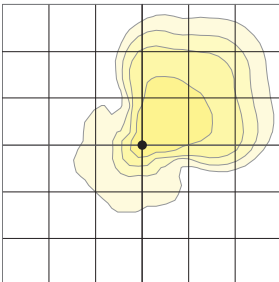
Type 5W (round wide)



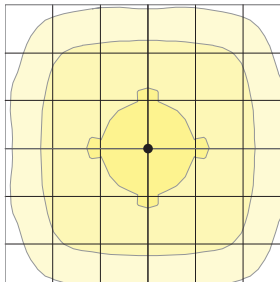
Type TC



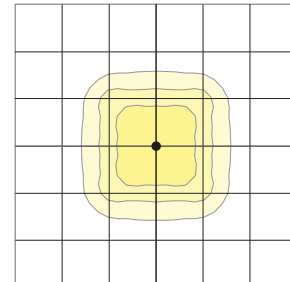
Type Corner



Type 5QW



Type 5QN

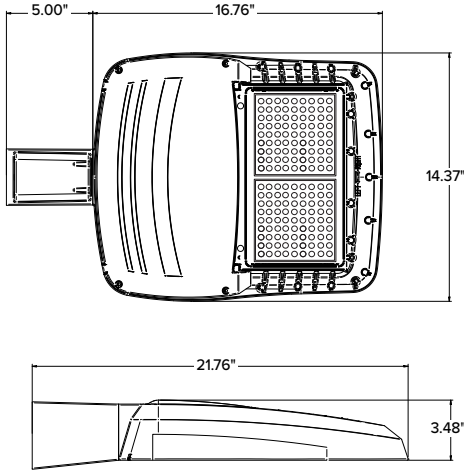


# VIPER Area/Site

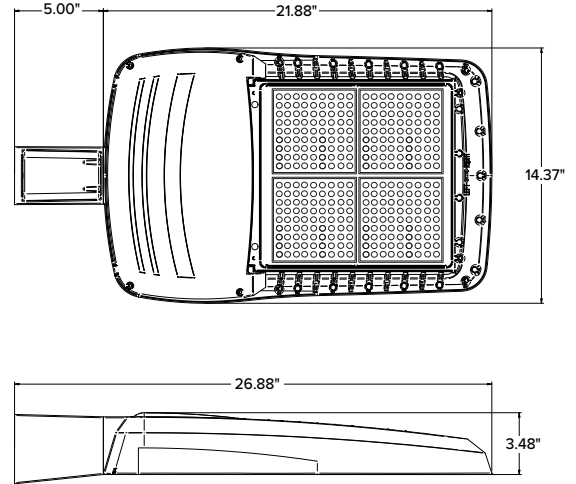
VIPER LUMINAIRE

## DIMENSIONS

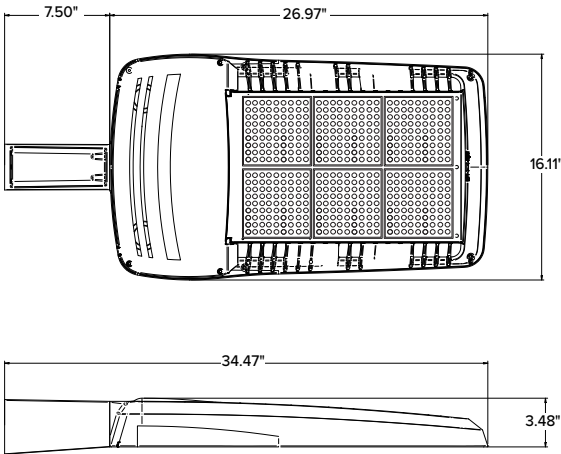
### SIZE 1



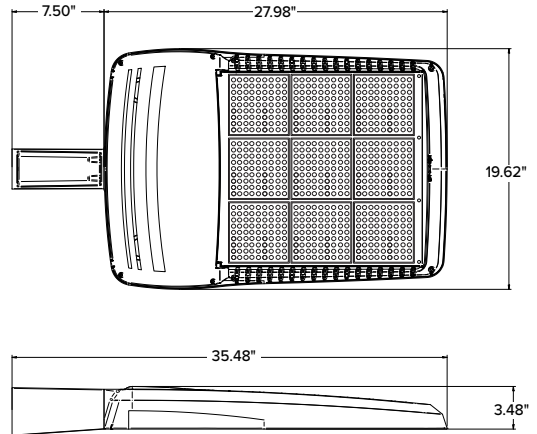
### SIZE 2









### SIZE 3



### SIZE 4



	EPA				Config.
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

	Weight	
	lbs	kgs
VP1 (Size 1)	13.7	6.2
VP2 (Size 2)	16.0	7.26
VP3 (Size 3)	25.9	11.7
VP4 (Size 4)	30.8	13.9



# VIPER Area/Site

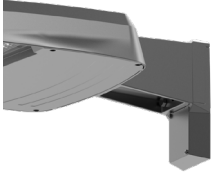
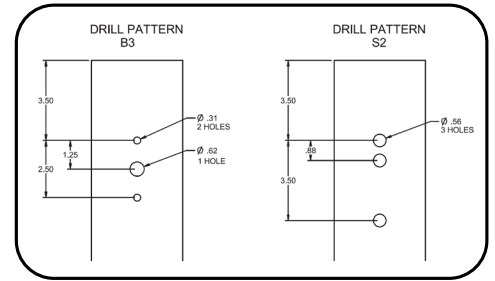
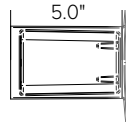
VIPER LUMINAIRE

## MOUNTING



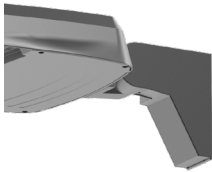
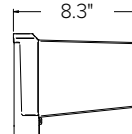
### A-STRAIGHT ARM MOUNT

Fixture ships with integral arm for ease of installation. Compatible with Current Outdoor B3 drill pattern for ease of installation on square poles. For round poles add applicable suffix (2/3/4/5)



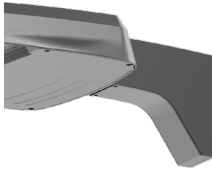
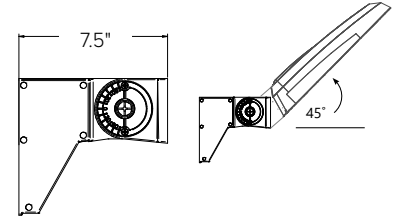
### ASQU-UNIVERSAL ARM MOUNT

Universal mounting block for ease of installation. Compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5)



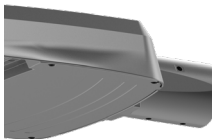
### AAU-ADJUSTABLE ARM FOR POLE MOUNTING

Rotatable arm mounts directly to pole. Compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2 and B3. For round poles add applicable suffix (2/3/4/5). Rotatable in 5° aiming angle increments. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



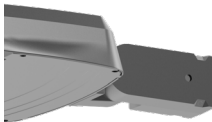
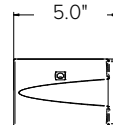
### ADU-DECORATIVE UPSWEPT ARM

Upswept Arm compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5).



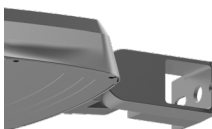
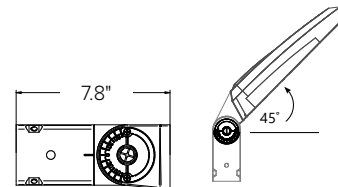
### MAF-MAST ARM FITTER

Fits 2-3/8" OD horizontal tenons.



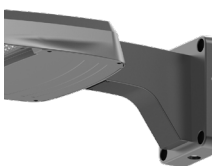
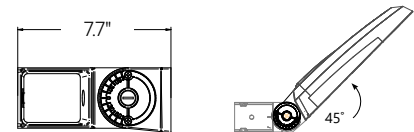
### K-KNUCKLE

Rotatable in 5-degree aiming angle increments, fits 2-3/8" tenons or pipes. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



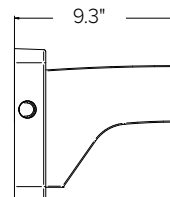
### T-TRUNNION

Trunnion for surface and crossarm mounting using (1) 3/4" or (2) 1/2" size through bolts. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



### WM-WALL MOUNT

Compatible with universal arm mount, adjustable arm mount, and decorative arm mount. The WA option uses the same wall bracket but replaces the decorative arm with an adjustable arm.



# VIPER Area/Site

VIPER LUMINAIRE

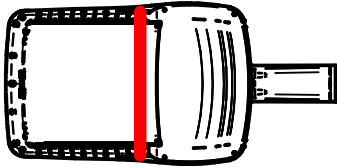
## ADDITIONAL INFORMATION (CONTINUED)

### HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES

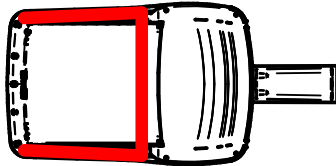
HSS has a depth of 5" for all Viper sizes

Not to be used with Occupancy Sensors as the shield may block the light to the sensor.

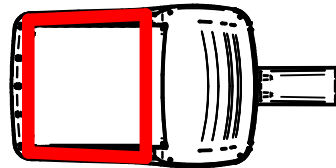
VPR2x HSS-90-B-xx



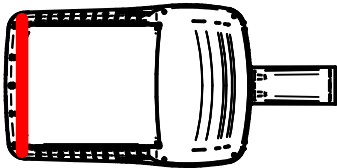
VPR2x HSS-270-BSS-xx



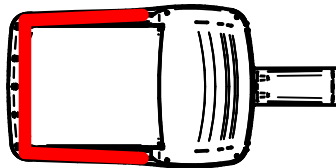
VPR2x HSS-360-xx



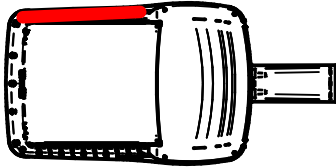
VPR2x HSS-90-F-xx



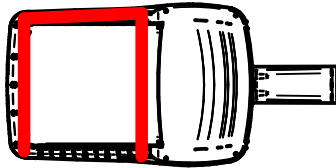
VPR2x HSS-270-FSS-xx



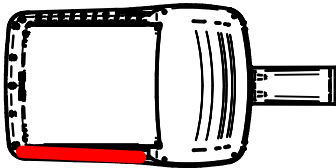
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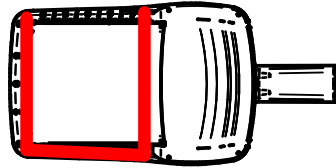
VPR2x HSS-270-FSB-xx



VPR2x HSS-90-S-xx



VPR2x HSS-270-FSB-xx



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 10/24/2024

PROJECT NUMBER: SP2024-042  
PROJECT NAME: Amended Site Plan for 1010 Ridge Road  
SITE ADDRESS/LOCATIONS: 1010 RIDGE RD

CASE CAPTION: Discuss and consider a request by Joanne Vuckovic on behalf of the Pregnancy Resource Center of Lake Ray Hubbard for the approval of an Amended Site Plan for an existing Medical Office Building on a 0.32-acre parcel of land identified as Lot 1, Block A, Pregnancy Resource Center Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	10/24/2024	Approved w/ Comments

10/24/2024: SP2024-042; Amended Site Plan for 1010 Ridge Road (Pregnancy Resource Center)  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for an existing Medical Office Building on a 0.32-acre parcel of land identified as Lot 1, Block A, Pregnancy Resource Center Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (SP2024-042) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC).

M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans (i.e. Site Plan and Building Elevations). (Subsection 03.04. A, of Article 11, UDC)

#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

M.5 Please provide a Site Data Table listing the following: square footage of the building, building height, and the parking requirements).

M.6 Site Plan

- 1) Please indicate the distance between the building and the side property lines to ensure conformance with the side setbacks. (Subsection 03.04, B. of Article 11)
- 2) All ground mounted utility equipment shall be screened with 5-gallon evergreen shrubs. (Subsection 01.05, C. of Article 05)
- 3) All shrubs shall be a 5-gallon minimum. (Appendix C)
- 4) The landscape buffer must have 2, 4-inch caliper, canopy trees and 4, 4-foot accent trees per 100-linear feet. In this case, there must be 2 canopy and 3 accent trees. (Subsection 05.01, of Article 08)

**M.7 Building Elevations**

- 1) Please indicate the proposed building materials on the proposed building. (Subsection 04.01, of Article 05)
- 2) Please indicate the roof pitch. In this case, the minimum roof pitch for commercial buildings is 6:12.
- 3) Please indicate the roof material and color being used on the building. The building elevations indicate a standing seam roof. Please specify if this is the case.
- 4) Please indicate the building height. (Subsection 07.03, of Article 05)

M.8 Please provide a Material Sample Board if walls are being removed.

I.9 Please note that failure to address all comments provided by staff by 3:00 PM on November 5, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2024 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on October 29, 2024.
- 2) Planning & Zoning Meeting/Public Hearing meeting will be held on November 12, 2024.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). Please note that a representative(s) is required to be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/24/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/22/2024	Approved w/ Comments

- 10/22/2024: 1. Please provide landscape / tree scape plan  
2. Please provide tree mitigation showing mitigation for the tree removals



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1010 Ridge Rd.

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_

CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_

PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Pregnancy Resource Center of Lake Ray Hubbard

APPLICANT

CONTACT PERSON

Joanne Vuckovic

CONTACT PERSON

ADDRESS

1010 Ridge Rd.

ADDRESS

CITY, STATE & ZIP

Rockwall Tx 75087

CITY, STATE & ZIP

PHONE

972-772-8292

PHONE

E-MAIL

joanne@yourpre.org

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Joanne Vuckovic [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF October, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

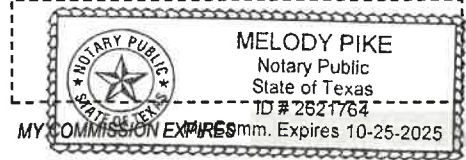
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF October, 2024.

OWNER'S SIGNATURE

Joanne Vuckovic

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Melody Pike





SP2024-042: Amended Site Plan for Pregnancy Resource Center at 1010 Ridge Road



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







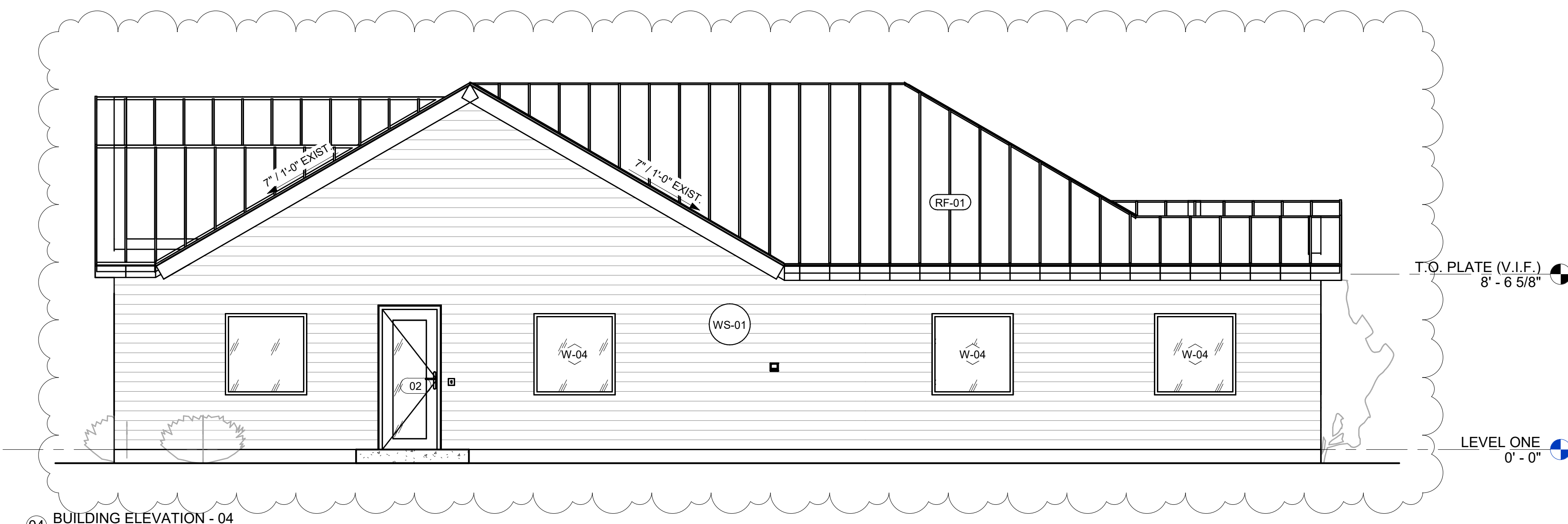
**ISSUES**

NO.	DATE	DESCRIPTION
A	10/30/23	ISSUE FOR PERMIT

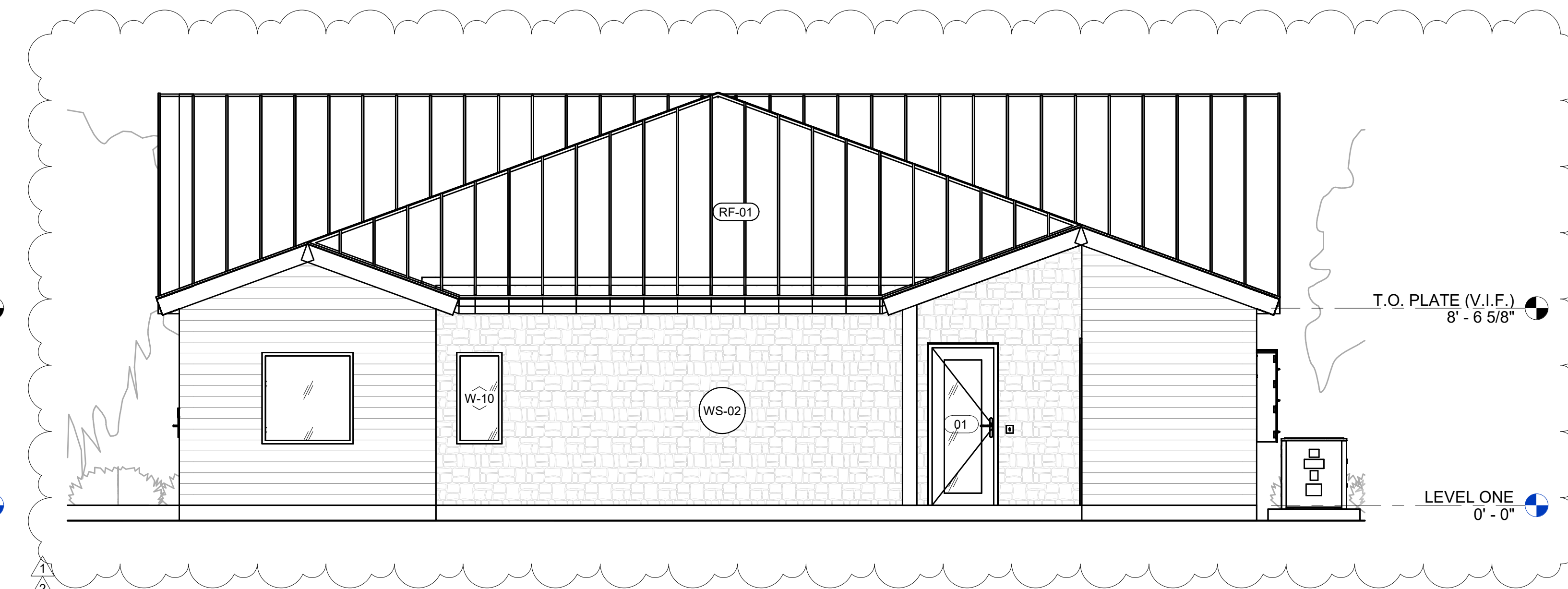
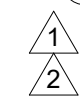
**REVISION**

NO.	DATE	DESCRIPTION
1	06/04/24	ADDENDUM 01
2	TBD	ISSUE FOR CONSTRUCTION

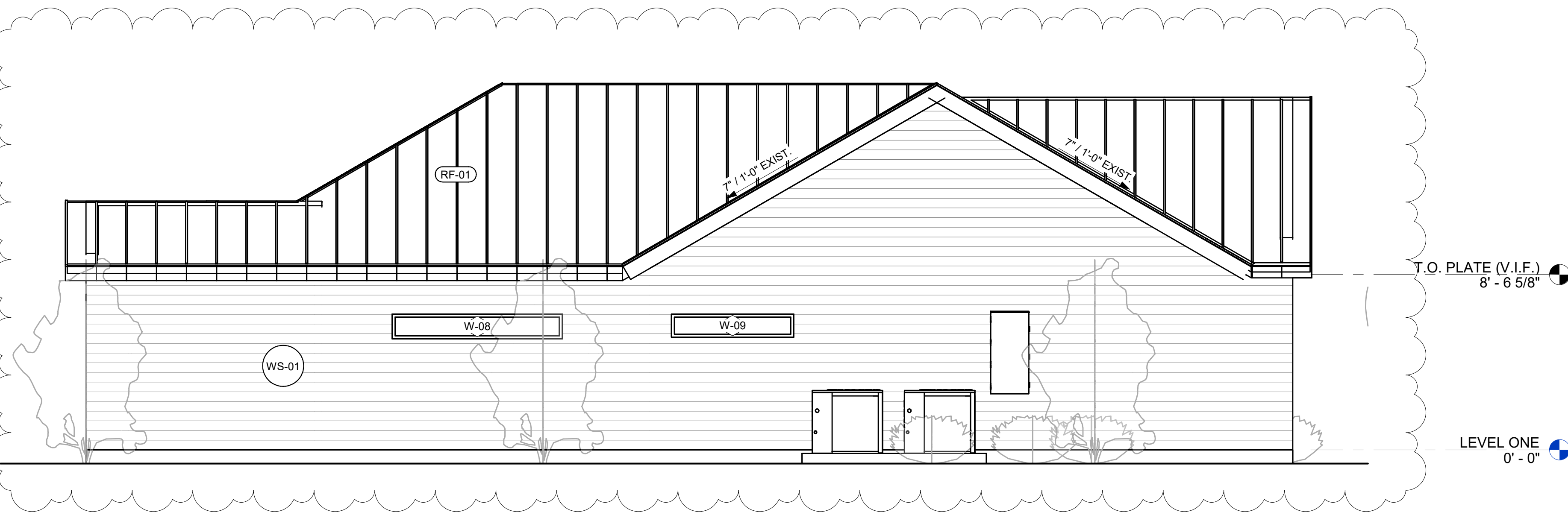
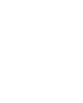
This Document was produced by or under the direct supervision of **Registered Architect BLAKE AARON**. This document is incomplete and may not be used for regulatory approval, permit or construction. Date of issue: 06/04/2024



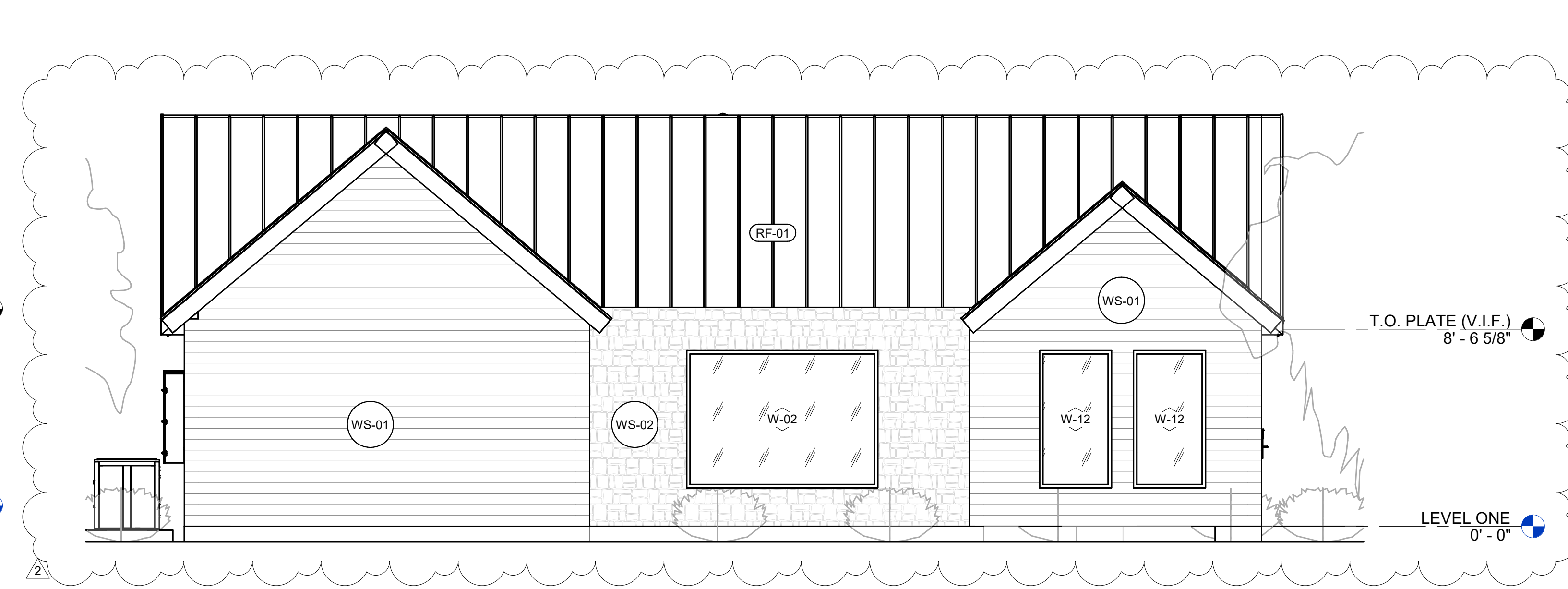
04 BUILDING ELEVATION - 04  
1/4" = 1'-0"



02 BUILDING ELEVATION - 02  
1/4" = 1'-0"



03 BUILDING ELEVATION 03  
1/4" = 1'-0"



01 BUILDING ELEVATION - 01  
1/4" = 1'-0"



**GENERAL NOTES**

- A. REF: G0-SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS
- B. REF: A0-SERIES FOR FOR TYPICAL DEVICE MOUNTING LOCATIONS AND TYPICAL ACCESSIBILITY DIAGRAM
- C. REF: A6-SERIES FOR DOOR, WINDOW, FINISH, FIXTURE AND EQUIPMENT SCHEDULES
- D. REF: G SERIES FOR PROJECT RELATED GENERAL NOTES

**SHEET NOTES**

**LEGEND**

- EXISTING
- NEW CONSTRUCTION

**RPRC ADDITION**

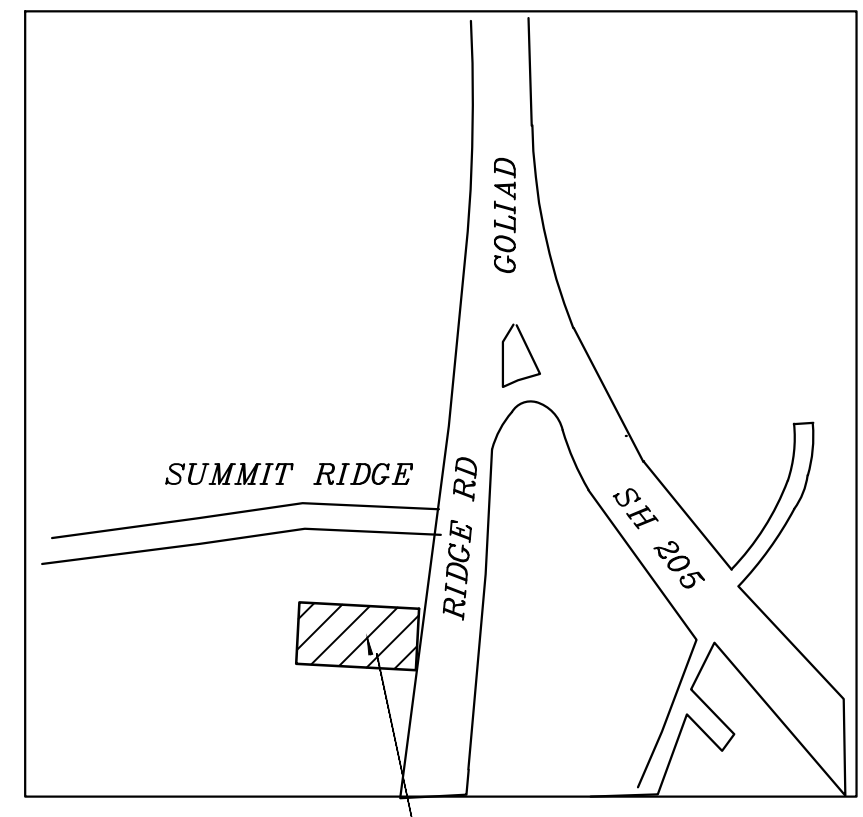
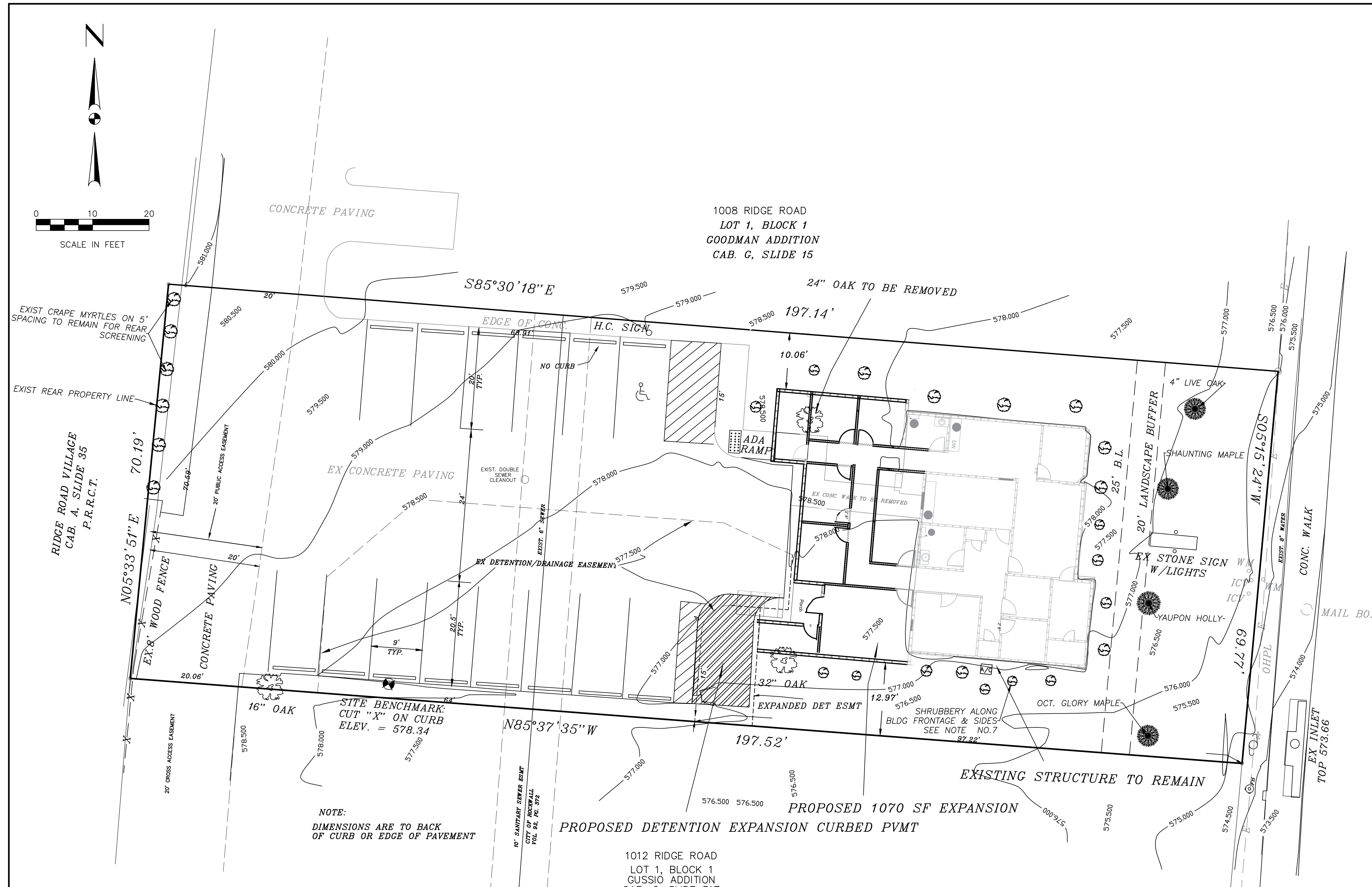
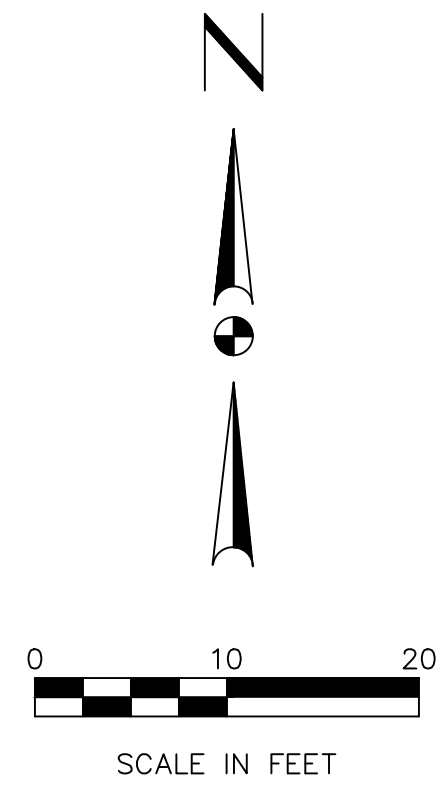
1010 RIDGE ROAD  
ROCKWALL, TEXAS 75087

**BUILDING ELEVATIONS**

**JOB** 23.014

**DATE** 06/04/2024

**A2.101**



PROJECT LOCATION  
LOCATION MAP  
NTS

RIDGE ROAD  
F.M. HWY. 740  
VARIABLE WIDTH R.O.W.

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN  
FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED  
BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_  
WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

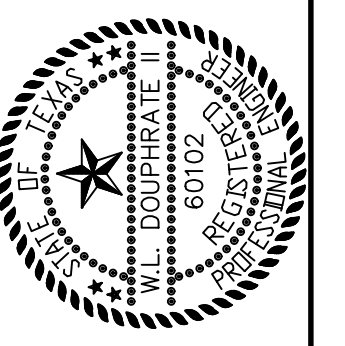
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING  
CASE NO. SP2020-009

OWNER  
PREGNANCY RESOURCE CENTER  
1010 RIDGE RD  
ROCKWALL, TX 75087  
972-722-8292

- NOTES:
1. PARKING SPACES ARE 9'X20'
  2. ALL GROUND MOUNTED HVAC TO BE SCREENED WITH 3-5 GAL TEXAS SAGE BUSHES
  3. THE EXISTING CRAPE MYRTLES LOCATED ALONG THE WEST PROPERTY LINE ARE TO BE PRESERVED FOR RESIDENT SCREENING
  4. SCREEN PARKING FRONTAGE WITH A MIXTURE OF 3-7 GAL TEXAS SAGE DESPERADO & 3-5 GAL WAX LEAF LICUSTRUM BUSHES
  5. LANDSCAPE BLDG FRONTAGE & SIDES WITH 16-5 GAL TEXAS RED YUCCA PLANTS
  6. ALL MUTUAL ACCESS EASEMENTS TO BE PAVED PER CITY OF ROCKWALL STANDARDS OF DESIGN
  7. ALL SHRUBS SHALL BE A 5 GAL MINIMUM IN SIZE.
  8. 2 CANOPY TREES TO BE PLANTED WITHIN THE 20' LANDSCAPE BUFFER  
1-4" LIVE OAK, 1-4" OCTOBER GLORY MAPLE
  9. 2 ACCENT TREES TO BE PLANTD WITHIN THE 20' LANDSCAPE BUFFER  
1-SHAUNTING MAPLE & 1- YAUPON HOLLY

SITE DATA SUMMARY:  
NAME OF FINAL PLAT: PREGNANCY RESOURCE CENTER LOT 1 BLOCK A BEING A REPLAT OF LOT 3 R.S. LOFLAND SUBD  
ZONING: RO (RESIDENTIAL OFFICE DISTRICT) PD-53  
PROPOSED USE: BUSINESS OFFICE  
EXIST BUILDING SQUARE FOOTAGE: 1200 SF  
PROPOSED BUILDING EXPANSION SQUARE FOOTAGE 1070 SF  
TOTAL BUILDING FOOTPRINT: 2270 SF  
BUILDING HEIGHT: 28 FT  
LOT COVERAGE: 16.44%  
PARKING SPACES REQUIRED: 1 SPACE/300 SF= 8  
HANDICAP PARKING REQUIRED: 1  
TOTAL PARKING SPACES PROVIDED: 14  
HANDICAP PARKING PROVIDED: 1  
INTERIOR LANDSCAPING REQUIRED: 30%  
INTERIOR LANDSCAPING PROVIDED: 30% 4150 SF  
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE=9314 SF

1012 RIDGE ROAD  
LOT 1, BLOCK 1  
GUSSIO ADDITION  
CAB. G, SLIDE 317



THE SEAL APPEARING ON THIS DOCUMENT IS VALIDATED BY THE BOARD OF PROFESSIONAL ENGINEERS, STATE OF TEXAS, P.E. NO. 60102, F-886, ON DATE: FEBRUARY 15, 2023

DOUPHRATE & ASSOCIATES, INC.  
ENGINEERING • PROJECT MANAGEMENT • SURVEYING  
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN BUILDING EXPANSION & LANDSCAPING  
PREGNANCY RESOURCE CENTER  
1010 RIDGE ROAD  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

REVISION	WLD.
CHECKED	
DRAWN	GCW.
SCALE	1"=10' H 1"=10' V
DATE	JUNE 16, 2015
PROJECT	22029
	1







# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 10/24/2024

PROJECT NUMBER: SP2024-043  
PROJECT NAME: Site Plan for Rockwall Medical Building  
SITE ADDRESS/LOCATIONS: 2651 S GOLIAD ST, ROCKWALL, TX 75032

CASE CAPTION: Discuss and consider a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brochette of Vue Real Estate for the approval of a Site Plan for a Medical Office Building on a 8.4841-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	10/23/2024	Approved w/ Comments

10/23/2024: SP2024-043; Site Plan for a Medical Office Building

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brochette of Vue Real Estate for the approval of a Site Plan for a Medical Office Building on a 8.4841-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (SP2024-043) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.5 Provide a physical Material Sample Board with samples of the material used on the building before the Architecture Review Board (ARB) meeting on October 29, 2024. (Subsection 03.04.A, Article 11, UDC)

M.6 Site Plan

- 1) All parking spaces shall be 9'x20'. (Engineering Standards of Design and Construction)
- 2) All overhead utilities shall be placed underground. (Subsection 06.02.H, Article 05, UDC)
- 3) A five (5)-foot sidewalk will be required along S Goliad and SH-276. (Subsection 03.04.B, of Article 11, UDC)
- 4) The building setback along S. Goliad is 25 feet. (Subsection 06.02.D.1(d), Article 05, UDC)
- 5) Please show the City of Heath water line located on the north side of the property for reference. (03.041.A, Article 11, UDC)
- 6) Indicate the fire lanes. (Subsection 03.04.A, Article 11, UDC)
- 7) Indicate the location of all existing and proposed fire hydrants. (Subsection 03.04.A, Article 11, UDC)

#### M.7 Landscape Plan

- 1) All landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway. (Subsection 06.02.E, Article 05, UDC)
- 2) Provide the actual impervious area vs. landscape area. (Subsection 01.01.B, of Article 05, UDC) Currently the landscape plan shows 100% pervious which is not correct. The maximum allowable impervious surface is 85%.
- 3) The generators will need to be screened. The screening must be at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall (excluding tilt wall or concrete masonry units [CMU] unless otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot centers. (Subsection 01.05.E, Article 05, UDC)
- 4) Residential Adjacency screening is required along the east property line. Where the property immediately abuts a residential zoning district or residentially used property a minimum 25-foot wide landscaped buffer must be installed for buildings with a building footprint of 25,000 SF to 49,999 SF in area. (Subsection 04.01.E(4), Article 05, UDC) In this case, a 25-foot wide landscape buffer is required on the east property line. In addition, any non-residential land use that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers. As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees) along the entire length of the adjacency. The canopy trees shall be placed on 20-foot centers. (Subsection 05.02.B, Article 08, UDC)
- 5) Detention area is required to have 1 canopy tree per 750 SF and one (1) accent per 1,500 SF of detention. Please show this on the landscape plan. (Subsection 05.03.D, Article 08, UDC)
- 6) The Dumpster and generators shall be screened with evergreen shrubs. (Subsection 01.05.B, Article 05, UDC)
- 7) Please indicate Decomposed Gravel (DG) on the landscape plan index. Is the DG contained in some way (i.e. glue, concrete edging, etc.)?

#### M.8 Treescap Plan

- 1) Any Cedar tree less than eight (8)-foot in height are not protected. Any Cedar tree more than eight (8)-foot in height is required four (4) inches of mitigation. (Subsection 05, Article 09, UDC) If the chittamwood is in declining health -- less than a two (2) on a five (5)-point scale, the mitigation required would be zero (0). Please update the provided table to reflect the heights and updated mitigation as shown in the example table below:

#### M.9 Building Elevations

- 1) Building does not meet four (4)-sided architecture requirements. Specifically, the minimum length of the secondary element and primary entryway is not met on the elevations. This will require a variance from the Planning and Zoning Commission. (Subsection 06.02.C.5, of Article 05, UDC)
- 2) Dash in the Roof Mounted Mechanical Equipment on the building elevations to ensure these will be screened from view. (Subsection 01.05.C, Article 05, UDC)
- 3) Parapets shall be extended back and finished on the backside, same as front. (Subsection 05.01.A.2, Article 05, UDC)
- 4) Provide a note indicating a self-latching gate on the dumpster. (Subsection 01.05.B, of Article 05, UDC)
- 5) Building materials do not meet the 90% masonry requirement. This will require a variance from the Planning and Zoning Commission. (Subsection 06.02.C, of Article 05, UDC)
- 6) Building materials do not meet the 20% stone requirement. This will require a variance from the Planning and Zoning Commission. (Subsection 06.02.C, of Article 05, UDC)

M.10 Staff has identified the following variance(s) associated with the proposed request: [1] Four (4)-sided Architecture, [2] Primary Articulation, [3] 20% stone, [4] 90% masonry, [5] excess of 10% secondary materials, and [6] natural stone. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2)

compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

M.11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on November 5, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on October 29, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on November 12, 2024.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2024	Approved w/ Comments

- 10/23/2024:
1. There is no existing storm drainage pipes to outfall to. Will you outfall via sheet flow?
  2. City of Rockwall Public Park
  3. You need to extend your sidewalk all the way across your frontage.
  4. Sanitary sewer must be in a easement with a minimum of 10' on either side of main.
  5. Inlets cannot be on the side of parking stalls. Needs to be at the end.
  6. Maximum length of a dead end water line is 50'. Must connect to a looped system.
  7. Access easement from ROW to this point required.
  8. 16" water
  9. All parking spaces must be min 20'x9'.
  10. 10' Utility easement along all roadway frontages
  11. 12" water line stub
  12. This connection will need to be made by dry bore and steel encased. Cannot open cut S. Goliad St.
  13. Show ROW line in this area.
  14. This connection will need to be made by dry bore and steel encased. Cannot open cut SH 276.
  15. 16" water

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines will need to be placed underground.



- A TIA is required. Review fees apply. TIA must be approved before engineering permit may be issued. Improvements identified within TIA must be constructed.
- Tree Mitigation will be required for the removal of trees on site.
- City driveway spacing and TXDOT driveway spacing requirements must be met.
- Additional comments may be provided at time of Engineering.

Drainage Items:

- Detention is required. Drainage calculations based on property zoning, not land area use. Must detain to pre-developed flows.
- Existing flow patterns must be maintained.
- Detention ponds must be in a drainage easement located at the 2' freeboard elevation.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- An emergency spillway is required for the detention pond.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to detention pond. Minimum 2' above 100-year WSEL.
- All dumpster areas shall drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- \$432.47/acre sewer pro-rata
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Any utility connects across existing roadways must be completed by dry bore. Open cutting will not be allowed.
- Any utility work or driveway connections within TXDOT ROW will require a TXDOT permit. City shall submit TxDOT permit.
- Must install a 16" water main along S. Goliad St frontage and a 16" water main along SH 276 per City master plans. Dedicate easements.
- Commercial sanitary sewer service line size is minimum 6" and must connect to a manhole.
- Water to be 10' separated from storm and sewer lines.
- Must install all water and sanitary sewer per Master Water and Wastewater Master Plan that is within or adjacent to property.
- Sanitary sewer must connect to City mains at a manhole.

Roadway Paving Items:

- All new paving to be steel reinforced concrete.
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking allowed without a city approved turn around. - Parking to be 20'x9' min. All drive aisles to be a minimum of 24' in width.
- Sidewalk required along public and TXDOT roadways.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- TXDOT driveway spacing requirements and City driveway spacing requirements must be met.
- TxDOT permit will be submitted by the City.
- Must comply with the results of the TIA, once completed.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

BUILDING	Craig Foshee	10/24/2024	Approved
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No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2024	Needs Review

10/22/2024: Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. Where approved by the fire code official, buildings of Type IA, Type IB, or Type IIA construction equipped throughout with an automatic sprinkler system and having firefighter access through an enclosed stairway with a Class I standpipe from the lowest level of fire department vehicle access to all roof surfaces is exempt. One or more of the required access routes meeting this condition shall be located not less than 15 feet and not greater than 30 feet from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2024	Approved w/ Comments

10/21/2024: Assigned Address will be 2651 S GOLIAD ST, ROCKWALL, TX 75032

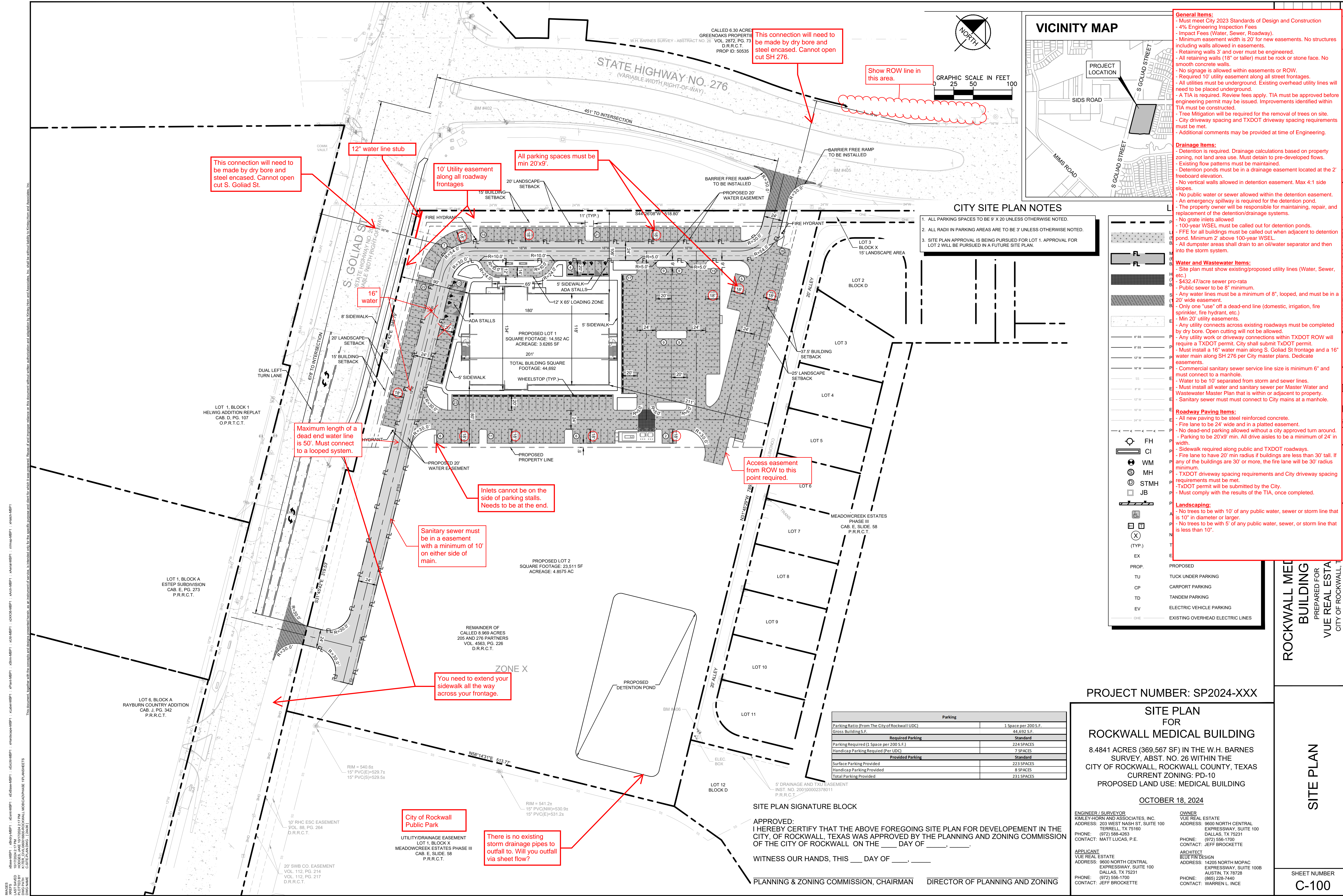
Future suite numbers shall follow our addressing standards: <https://www.rockwall.com/pz/GIS/AddressingStandards.pdf>

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/22/2024	Approved w/ Comments

10/22/2024: 1. There are better varieties of Bermudagrass available such as Tif Tuf and Tahoma 31 that are more drought, cold, wear and shade tolerant than common.



- General Items:**
- Must meet City 2023 Standards of Design and Construction
  - 4% Engineering Inspection Fees
  - Impact Fees (Water, Sewer, Roadway).
  - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
  - Retaining walls 3' and over must be engineered.
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  - Required 10' utility easement along all street frontages.
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  - A TIA is required. Review fees apply. TIA must be approved before engineering permit may be issued. Improvements identified within TIA must be constructed.
  - Tree Mitigation will be required for the removal of trees on site.
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- Detention is required. Drainage calculations based on property zoning, not land area use. Must detain in pre-developed fields.
  - Existing flow patterns must be maintained.
  - Detention ponds must be in a drainage easement located at the 2' freeboard elevation.
  - No vertical walls allowed in detention easement. Max 4:1 side slopes.
  - No public water or sewer allowed within the detention easement.
  - An emergency spillway is required for the detention pond.
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  - No grate inlets allowed
  - 100-year WSEL must be called out for detention ponds.
  - FFE for all buildings must be called out when adjacent to detention pond. Minimum 2' above 100-year WSEL.
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- Water and Wastewater Items:**
- 5432.47/acre sewer pro-rata
  - Public sewer to be 8" minimum.
  - Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
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  - Commercial sanitary sewer service line size is minimum 6" and must connect to a manhole.
  - Water to be 10' separated from storm and sewer lines.
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- All new paving to be steel reinforced concrete.
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  - No dead-end parking allowed without a city approved turn around.
  - Parking to be 20'x9' min. All drive aisles to be a minimum of 24' in width.
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  - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
  - TXDOT driveway spacing requirements and City driveway spacing requirements must be met.
  - TXDOT permit will be submitted by the City.
  - Must comply with the results of the TIA, once completed.

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
  - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

**CITY SITE PLAN NOTES**

1. ALL PARKING SPACES TO BE 9' X 20' UNLESS OTHERWISE NOTED.
2. ALL RADII IN PARKING AREAS ARE TO BE 3' UNLESS OTHERWISE NOTED.
3. SITE PLAN APPROVAL IS BEING PURSUED FOR LOT 1. APPROVAL FOR LOT 2 WILL BE PURSUED IN A FUTURE SITE PLAN.

**LEGEND**

- FL (hatched) - 15' LANDSCAPE SETBACK
- FL (dotted) - 20' LANDSCAPE SETBACK
- FL (diagonal) - 25' LANDSCAPE SETBACK
- FL (cross-hatched) - 30' LANDSCAPE SETBACK
- FL (horizontal) - 35' LANDSCAPE SETBACK
- FL (vertical) - 40' LANDSCAPE SETBACK
- FL (wavy) - 45' LANDSCAPE SETBACK
- FL (stippled) - 50' LANDSCAPE SETBACK
- FL (dots) - 55' LANDSCAPE SETBACK
- FL (grid) - 60' LANDSCAPE SETBACK
- FL (dots) - 65' LANDSCAPE SETBACK
- FL (dots) - 70' LANDSCAPE SETBACK
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- FL (dots) - 1000' LANDSCAPE SETBACK

Parking	
Parking Ratio (From The City of Rockwall UDC)	1 Space per 200 S.F.
Gross Building S.F.	44,692 S.F.
Required Parking	Standard
Parking Required (1 Space per 200 S.F.)	224 SPACES
Handicap Parking Required (Per UDC)	7 SPACES
Provided Parking	
Surface Parking Provided	223 SPACES
Handicap Parking Provided	8 SPACES
Total Parking Provided	231 SPACES

**SITE PLAN SIGNATURE BLOCK**

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_.

**PROJECT NUMBER: SP2024-XXX**

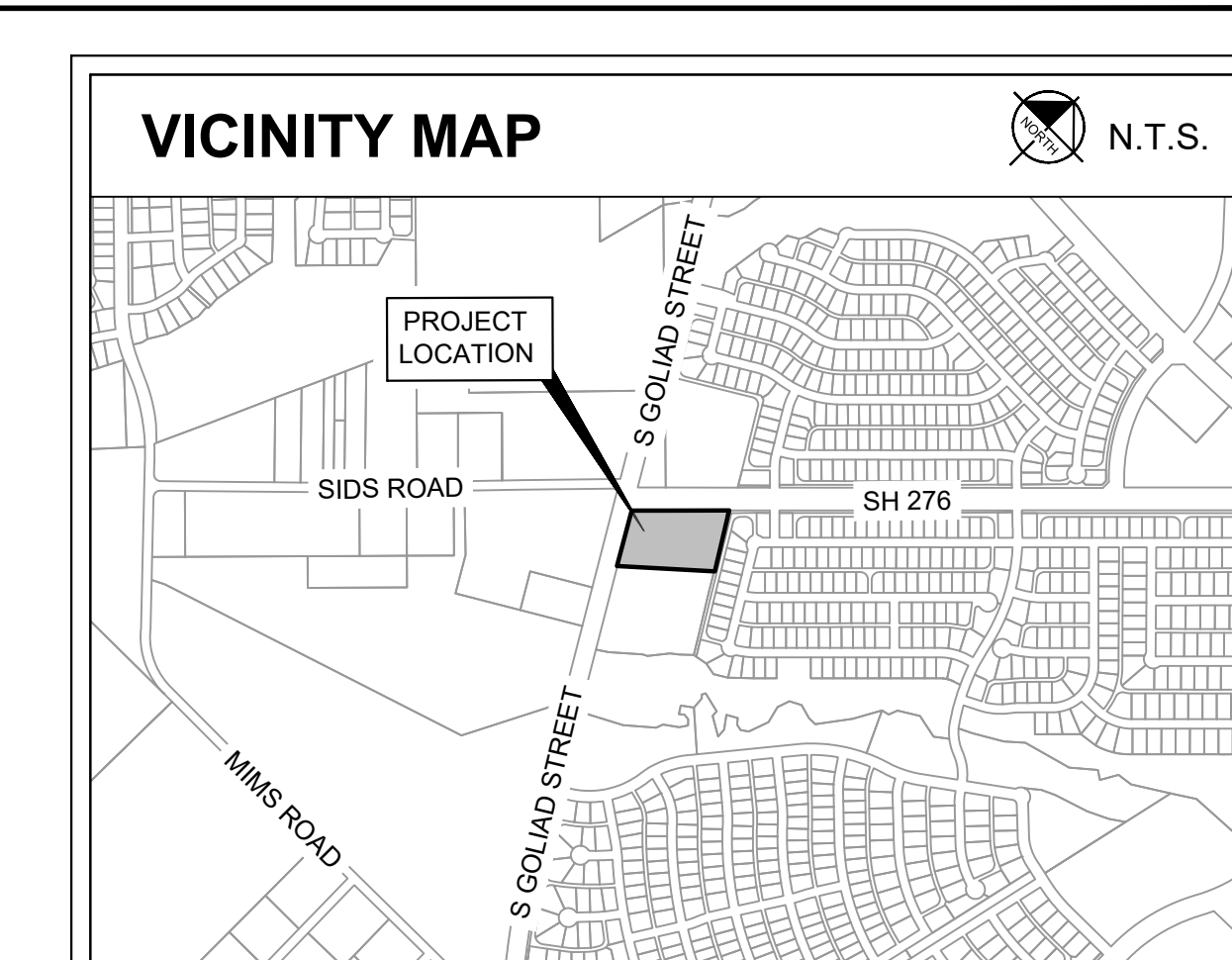
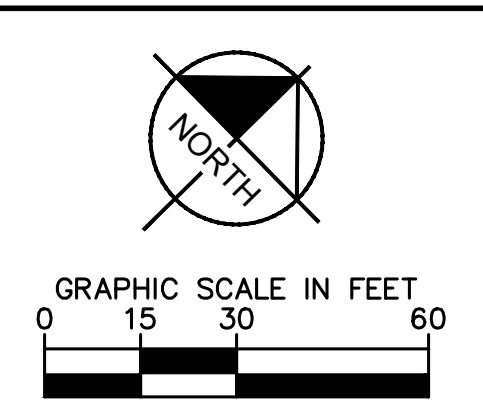
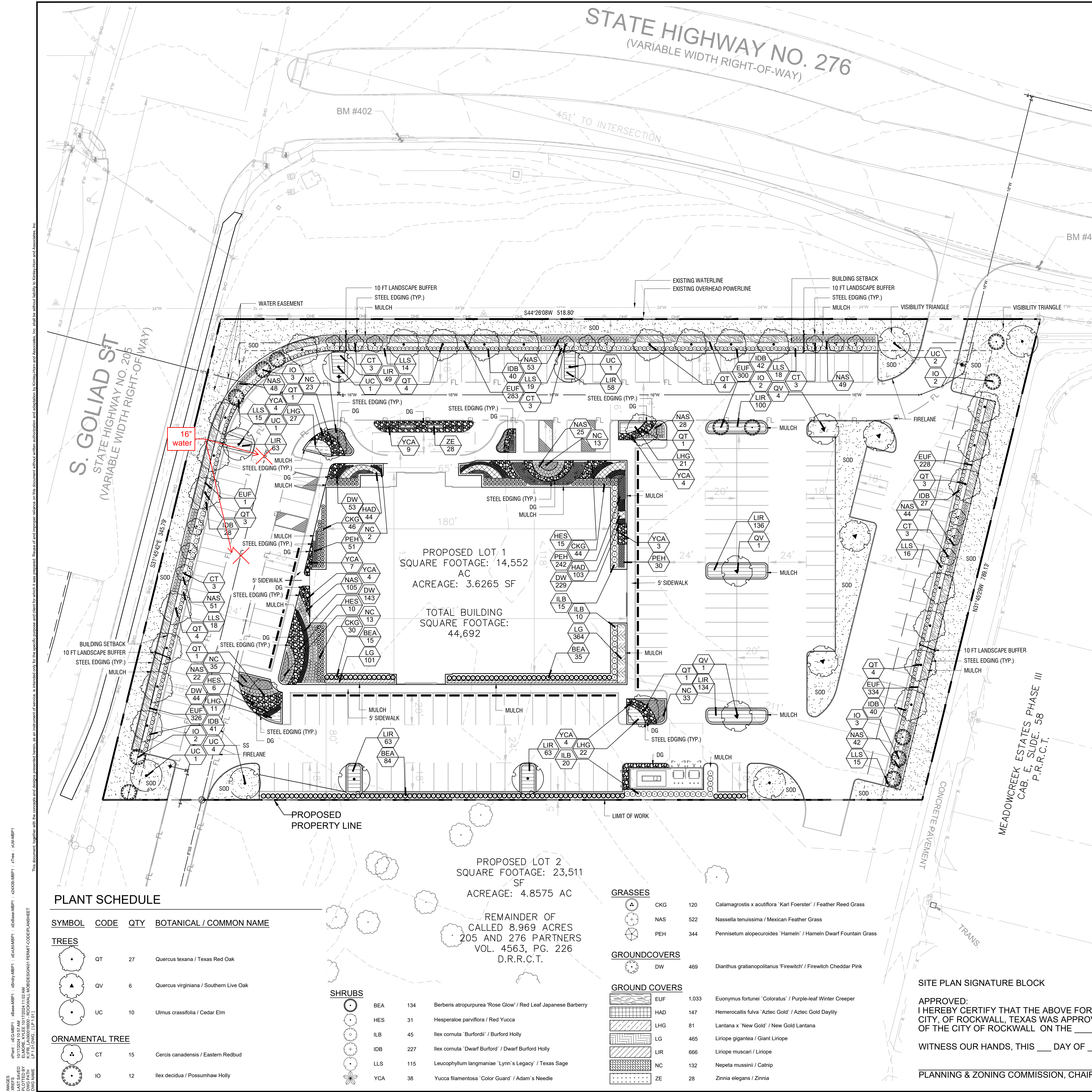
**SITE PLAN FOR ROCKWALL MEDICAL BUILDING**

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CURRENT ZONING: PD-10  
PROPOSED LAND USE: MEDICAL BUILDING

**OCTOBER 18, 2024**

<b>ENGINEER / SURVEYOR</b> KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160 DALLAS, TX 75231 PHONE: (972) 568-4263 CONTACT: MATT LUCAS, P.E.	<b>OWNER</b> VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE
<b>APPLICANT</b> VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE	<b>ARCHITECT</b> BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 PHONE: (855) 228-7440 CONTACT: WARREN L. INCE

IMAGES: [unclear] | PLOTTED BY: [unclear] | DATE: [unclear] | DRAWN BY: [unclear] | DATE: [unclear] | CHECKED BY: [unclear] | DATE: [unclear] | REVISIONS: [unclear] | DATE: [unclear] | BY: [unclear]



**CITY OF ROCKWALL LANDSCAPE REQUIREMENTS**

LANDSCAPE MATERIAL (SECTION 4.A.)	REQUIRED	PROVIDED
Canopy Trees shall be a minimum of 4" caliper	Yes	Yes
Accent Trees shall be a minimum of 4 ft in total height	Yes	Yes
Shrubs shall be a minimum of 3 gallons in size	Yes	Yes
LANDSCAPE BUFFERS (SECTION 5.B.)	REQUIRED	PROVIDED
10 ft wide landscape buffer along the entire length of any non-residential lot that abuts a public right-of-way (collector street, arterial roadway, or alleyway) or residentially zoned that is located directly across a public street.	10 ft	10 ft
1 Canopy Tree and 1 Accent Tree / 50 LF		
<i>S Goliad St.</i> : 314 LF / 50 LF = 7 Canopy trees and 7 Accent Trees	7 Canopy Trees 7 Accent Trees	7 Canopy Trees 7 Accent Trees
<i>State Highway No. 276</i> : 519 LF / 50 LF = 11 Canopy trees and 11 Accent Trees	11 Canopy Trees 11 Accent Trees	11 Canopy Trees 11 Accent Trees
<i>20' Alleyway</i> : 314 LF / 50 LF = 7 Canopy trees and 7 Accent Trees	7 Canopy Trees 7 Accent Trees	7 Canopy Trees 7 Accent Trees
All landscape buffers adjacent to a public right of way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30 inches.	30 in	30 in
LANDSCAPE REQUIREMENTS (SECTION 5.03.)	REQUIRED	PROVIDED
Zoning District: Commercial (C) District 20% required landscaping areas 20% x 157,972 sf = 31,595 sf	31,595 sf (20%)	43,923 sf (27.8%)
A minimum of 50% of the required landscaping shall be located in the front of and along the side of buildings with street frontage. 50% x 31,595 sf = 15,797 sf	15,797 sf (50%)	*15,797 sf (50%)
PARKING LOT LANDSCAPING (SECTION 5.03.E.)	REQUIRED	PROVIDED
Parking lots with more than two rows of parking spaces shall have a minimum of 200 sf of landscaping.	200 sf	200 sf
No parking spaces may be located more than 80-feet from the trunk of a canopy tree.	80 ft	80 ft

Pervious	Impervious
100%	0%
(157,972 sf)	(0 sf)

Total Mitigation Required: 214.1 in  
Total Mitigation Provided: 280 in  
\*Refer to Tree Mitigation Plan

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

NOTE: REFER TO SHEET LP 3.03 TO SEE FULL LANDSCAPE TABLE

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
<b>TREES</b>			
QT	27	Quercus texana / Texas Red Oak	
QV	6	Quercus virginiana / Southern Live Oak	
UC	10	Ulmus crassifolia / Cedar Elm	
<b>ORNAMENTAL TREE</b>			
CT	15	Cercis canadensis / Eastern Redbud	
IO	12	Ilex decidua / Possumhaw Holly	

**SHRUBS**

BEA	134	Berberis atropurpurea 'Rose Glow' / Red Leaf Japanese Barberry
HES	31	Hesperaloe parviflora / Red Yucca
ILB	45	Ilex cornuta 'Burfordii' / Burford Holly
IDB	227	Ilex cornuta 'Dwarf Burford' / Dwarf Burford Holly
LLS	115	Leucophyllum langianmea 'Lynn's Legacy' / Texas Sage
YCA	38	Yucca filamentosa 'Color Guard' / Adam's Needle

**GRASSES**

CKG	120	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
NAS	522	Nassella tenuissima / Mexican Feather Grass
PEH	344	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass

**GROUNDCOVERS**

DW	469	Dianthus gratianopolitanus 'Firewitch' / Firewitch Cheddar Pink
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**GROUND COVERS**

EUF	1,033	Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper
HAD	147	Hemerocallis fulva 'Aztec Gold' / Aztec Gold Daylily
LHG	81	Lantana x 'New Gold' / New Gold Lantana
LG	465	Liriope gigantea / Giant Liriope
LIR	666	Liriope muscari / Liriope
NC	132	Nepeta mussini / Catnip
ZE	28	Zinnia elegans / Zinnia

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD. NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

**SITE PLAN SIGNATURE BLOCK**

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, 2024.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, 2024.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**PROJECT NUMBER: SP2024-XXX**

**LANDSCAPE PLAN FOR ROCKWALL MEDICAL BUILDING**

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CURRENT ZONING: PD-10  
PROPOSED LAND USE: MEDICAL BUILDING

**OCTOBER 18, 2024**

<b>ENGINEER / SURVEYOR</b> KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160 (972) 588-4263 CONTACT: MATT LUCAS, P.E.	<b>OWNER</b> VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 (972) 556-1700 CONTACT: JEFF BROCKETTE
<b>APPLICANT</b> VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 (855) 228-7440 PHONE: (855) 228-7440 CONTACT: WARREN L. INCE	<b>ARCHITECT</b> BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 (855) 228-7440 PHONE: (855) 228-7440 CONTACT: WARREN L. INCE

**Kimley-Horn**

13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
SUITE 700 DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928  
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.

**ROCKWALL MEDICAL BUILDING**  
PREPARED FOR  
VUE REAL ESTATE  
CITY OF ROCKWALL, TX

**LANDSCAPE PLAN**

SHEET NUMBER  
**LP 1.01**

NO.	REVISIONS	DATE	BY



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **E Corner of the intersection of S Goliad St and SH 276**

SUBDIVISION **Unplatted - W.H. Barnes Survey, Abstract No. 26** LOT **N/A** BLOCK **N/A**

GENERAL LOCATION **E Corner of the intersection of S Goliad St and SH 276**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-10**

CURRENT USE **Undeveloped**

PROPOSED ZONING **PD-10**

PROPOSED USE **Medical Office**

ACREAGE **8.4841**

LOTS [CURRENT] **N/A**

LOTS [PROPOSED] **2**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Vue Real Estate**

APPLICANT **Kimley-Horn**

CONTACT PERSON **Jeff Brockette**

CONTACT PERSON **Jake Hodges**

ADDRESS **9600 N Central Expressway  
Suite 100**

ADDRESS **203 W Nash St, Suite 100**

CITY, STATE & ZIP **Dallas, Texas 75231**

CITY, STATE & ZIP **Terrell, Texas 75160**

PHONE **Address**

PHONE **972-588-4263**

E-MAIL **Dani.carr@vuerealestate.com**

E-MAIL **Jake.Hodges@kimley-horn.com**

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeffrey Brockette [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE OR REPRODUCE THE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF October, 2024

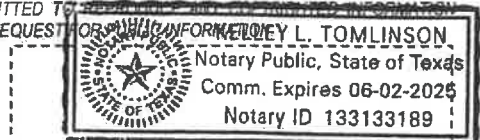
OWNER'S SIGNATURE

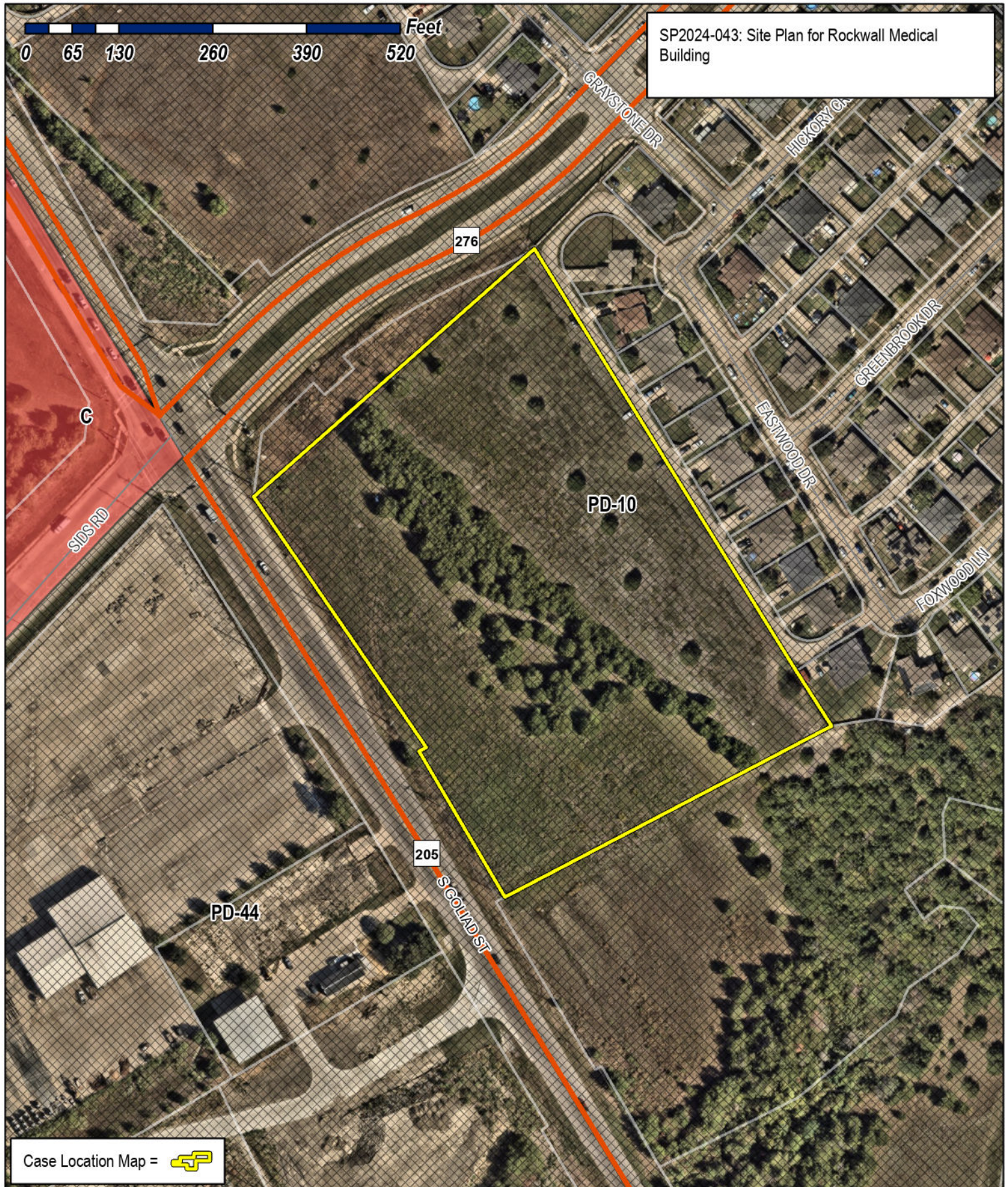
*Jeffrey Brockette*  
*Kelly K. Taylor*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES


6/2/2025





SP2024-043: Site Plan for Rockwall Medical Building

0 65 130 260 390 520 Feet

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







BFD #: 24115

VUE REALTY GROUP, LLC.  
**ROCKWALL MOB**

STATE HIGHWAY 205 AND STATE HIGHWAY 276  
 BYPASS  
 ROCKWALL, TEXAS

SEAL:



BLUE FIN DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

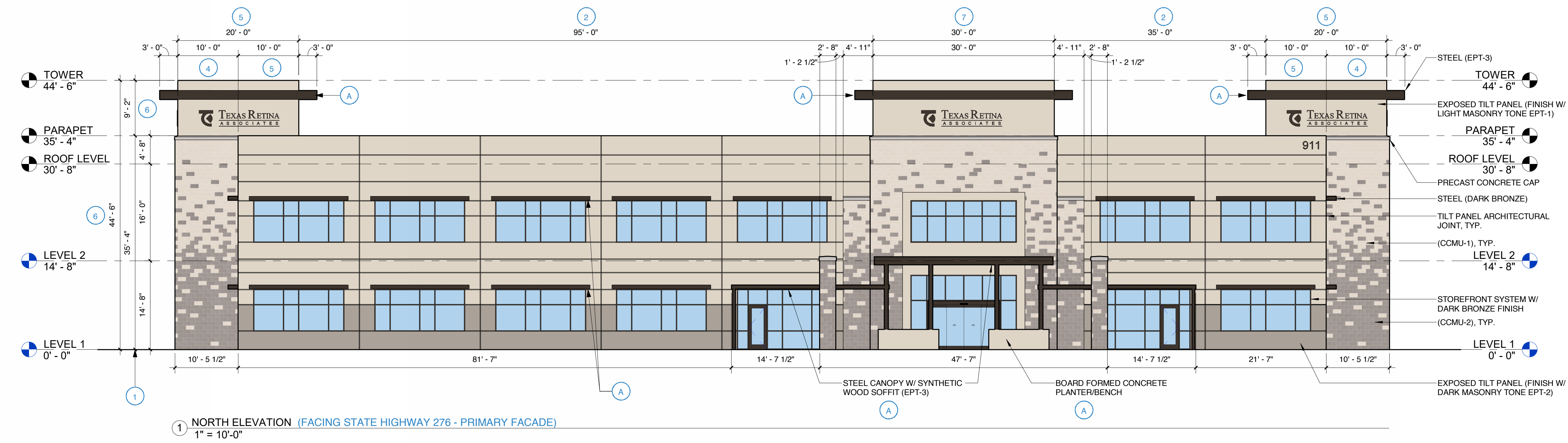
DATE: 2024.10.17  
 DRAWN BY: WLI

EXTERIOR  
 ELEVATIONS -  
 COLOR

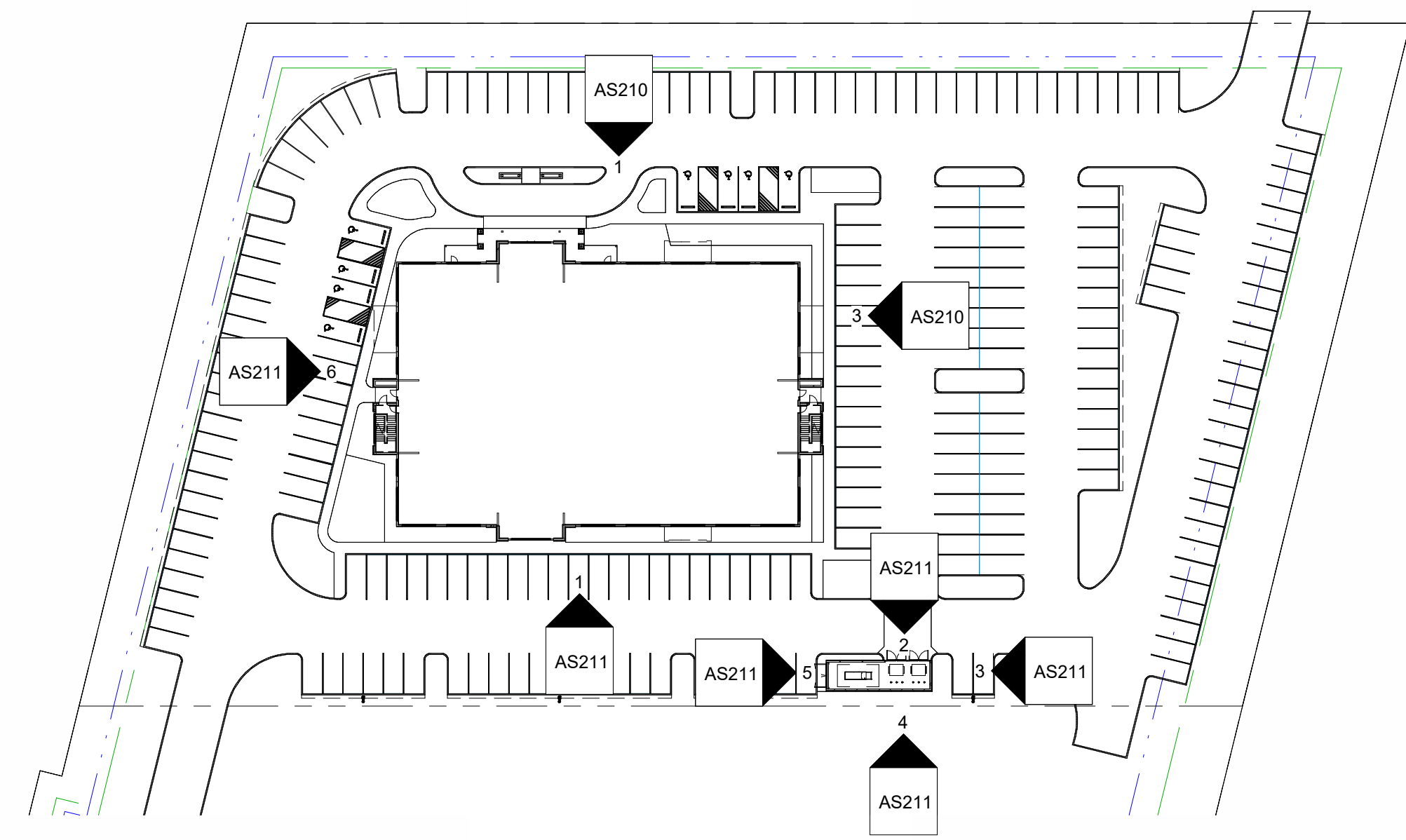
DRAWING NUMBER:

**AS210**

SCALE: AS INDICATED



1 NORTH ELEVATION (FACING STATE HIGHWAY 276 - PRIMARY FACADE)  
 1" = 10'-0"



2 ARCHITECTURAL ELEVATION LEGEND  
 1" = 60'-0"

	TOTAL FACADE AREA (S.F.)	TOTAL GLAZING AREA (S.F.)	TOTAL AREA MINUS GLAZING (S.F.)	TOTAL TILT PANEL AREA (S.F.)	TOTAL BURNISHED BLOCK AREA (S.F.)	TOTAL GLAZING PERCENTAGE (S.F.)	TOTAL EXPOSED TILT PANEL PERCENTAGE	TOTAL BURNISHED BLOCK PERCENTAGE
NORTH ELEVATION	7,741	1,900	5,841	4,228	1,613	24.5%	72%	28%
EAST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%
SOUTH ELEVATION	7,741	1,900	5,841	4,228	1,613	24.5%	72%	28%
WEST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%

**PRIMARY FACADE ARTICULATION COMPLIANCE KEY NOTES:**

- WALL HEIGHT. THE WALL HEIGHT SHALL BE MEASURED FROM GRADE TO THE TOP OF THE WALL.  
 PROPOSED WALL HEIGHT IS AT 35'-4" (REFER TO ELEVATIONS)  
 35'-4"(3) = 106'-0" (COMPLIES) MAX LENGTH PROPOSED IS 105'-0".
- WALL LENGTH. THE MAXIMUM WALL LENGTH SHALL NOT EXCEED THREE (3) TIMES THE WALL HEIGHT (I.E. 3 X 1 ≥ 2).  
 35'-4"(25%) = 8'-10" (COMPLIES) PROPOSED AT 9'-2" OR 44'-6" TOTAL.
- SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. THE MINIMUM LENGTH OF THE SECONDARY ENTRYWAY OR PROJECTING ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL LENGTH (I.E. 25% X 2 ≤ 3).  
 NORTH/SOUTH: 105'-0"(25%) = 26'-3" (NO SECONDARY FEATURE SHOWN - NEED TO REQUEST VARIANCE)  
 (2) 26'-3" = 52'-6" (DOES NOT COMPLY) SHOWN AT 30'-0".  
 WEST/EAST: 52'-6"(25%) = 13' - 1 1/2" (NO SECONDARY FEATURE SHOWN - NEED TO REQUEST VARIANCE)  
 (2) 13'-1 1/2" = 26'-3" (COMPLIES) SHOWN AT 33'-1".
- WALL PROJECTION. THE MINIMUM WALL PROJECTION FOR A PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL HEIGHT (I.E. 25% X 1 ≤ 4).  
 35'-4"(25%) = 8'-10" (COMPLIES)  
 NORTH AND SOUTH ARE PROPOSED AT 9'-0".  
 EAST AND WEST ARE PROPOSED AT 10'-0".
- PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT WIDTH. THE MINIMUM WALL WIDTH OF THE PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL EXTEND TWICE THE REQUIRED WALL PROJECTION (I.E. 2 X 4 ≥ 5).  
 2(8'-10") = 17'-8" (COMPLIES) PROPOSED AT 18'-0".
- PROJECTION HEIGHT. THE PRIMARY AND SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT SHALL EXTEND A MINIMUM OF 25% OF THE WALL HEIGHT ABOVE THE TOP OF THE WALL (I.E. 25% X 1 ≤ 6).  
 35'-4"(125%) = 8'-10" OR 44'-2" TOTAL (COMPLIES) PROPOSED AT 9'-2" OR 44'-6" TOTAL.
- PRIMARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. THE PRIMARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL MEET ALL OF THE SAME PROJECTIONS AS THE SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT, BUT SHALL EXTEND A MINIMUM OF TWICE THE LENGTH OF THE SECONDARY ELEMENT (I.E. 2 X 3 ≥ 7)

ADDITIONAL ARCHITECTURAL ELEMENT

**ADDITIONAL NOTES:**  
 SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR EXPOSED CONCRETE TILT PANEL VS. MASONRY  
 SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR CUSTOM CONCRETE MASONRY UNITS FOR 20% STONE.



3 EAST ELEVATION (FACING RESIDENTIAL - PRIMARY FACADE)  
 1" = 10'-0"

SITE PLAN SIGNATURE BLOCK

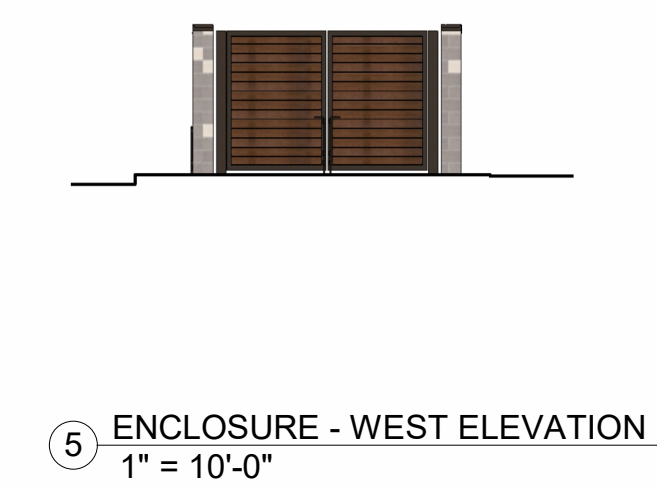
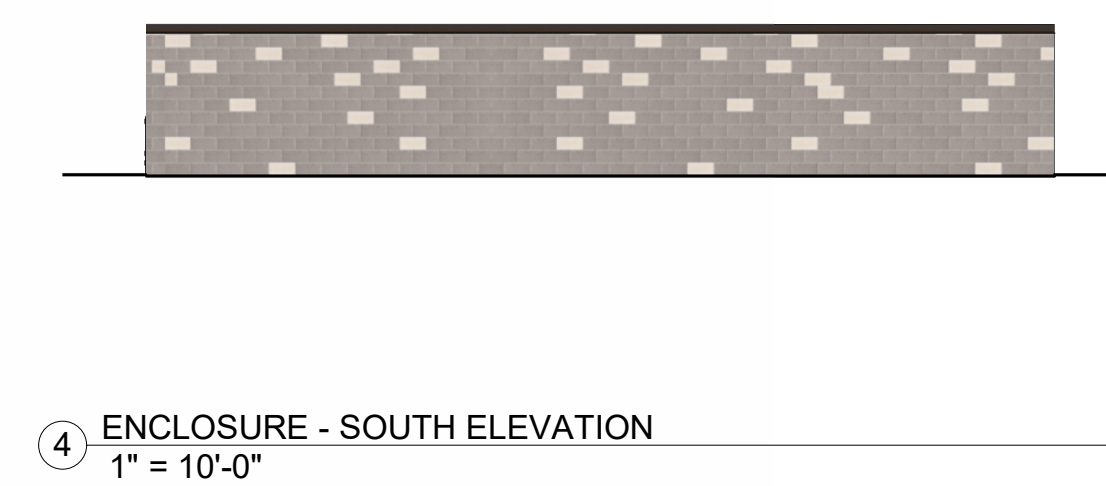
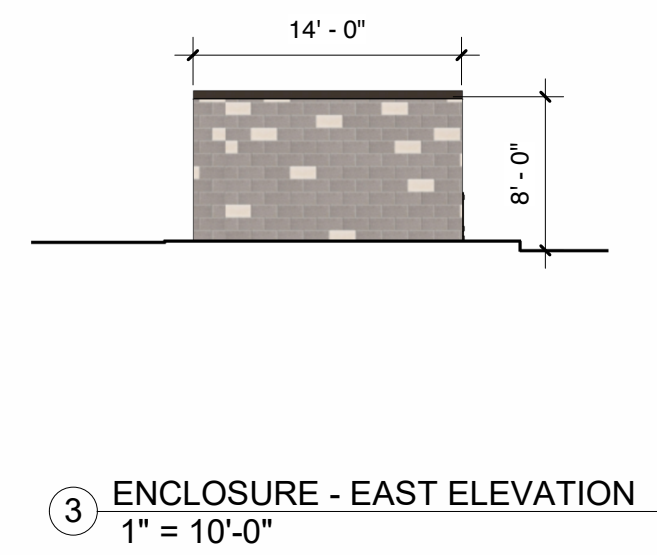
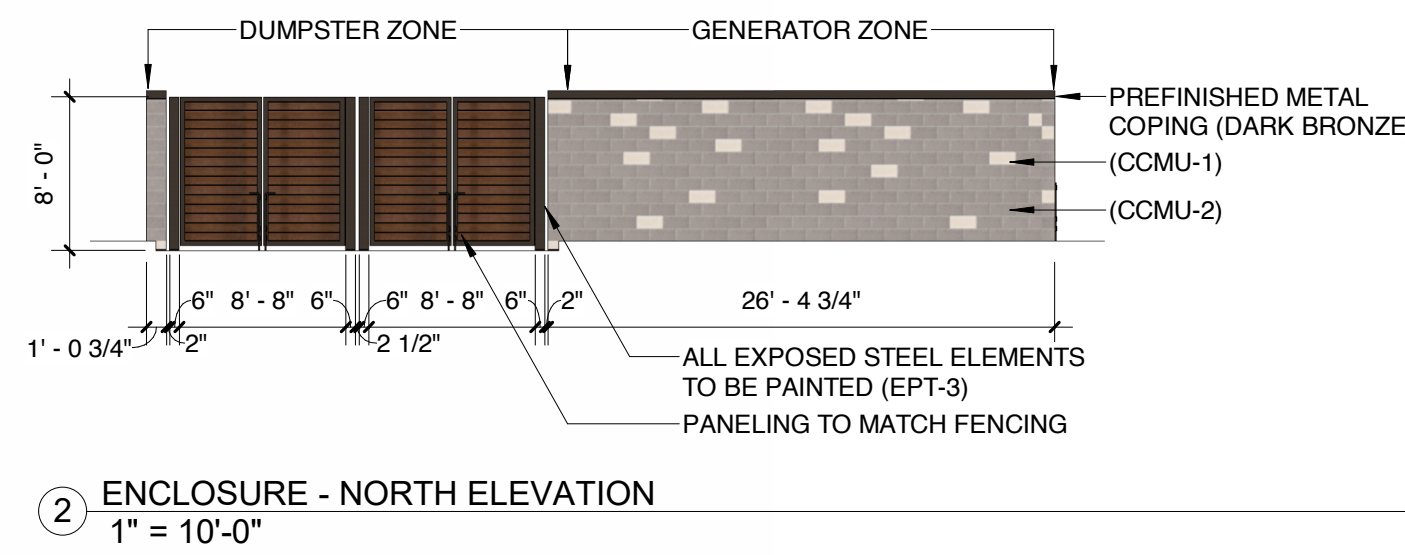
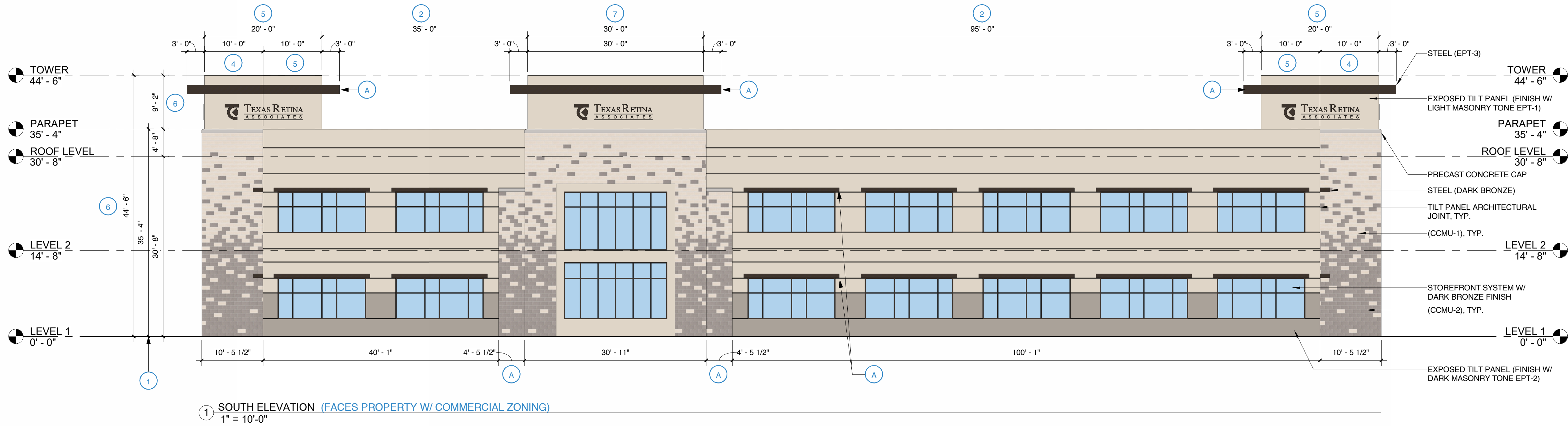
APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.  
 WITNESSED OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.  
 PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING



VUE REALTY GROUP, LLC.

ROCKWALL MOB

STATE HIGHWAY 205 AND STATE HIGHWAY 276  
BYPASS  
ROCKWALL, TEXAS



	TOTAL FACADE AREA (S.F.)	TOTAL GLAZING AREA (S.F.)	TOTAL AREA MINUS GLAZING (S.F.)	TOTAL TILT PANEL AREA (S.F.)	TOTAL BURNISHED BLOCK AREA (S.F.)	TOTAL GLAZING PERCENTAGE (S.F.)	TOTAL EXPOSED TILT PANEL PERCENTAGE	TOTAL BURNISHED BLOCK PERCENTAGE
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NORTH/SOUTH ELEVATION: (NEED TO REQUEST VARIANCE)  
(2)26'-3" = 52'-6" (DOES NOT COMPLY) SHOWN AT 30'-0".  
EAST/WEST ELEVATION: (NEED TO REQUEST VARIANCE)  
(2)13'-1 1/2" = 26'-3" (COMPLIES) SHOWN AT 33'-1".

ADDITIONAL ARCHITECTURAL ELEMENT

**ADDITIONAL NOTES:**  
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SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR CUSTOM CONCRETE MASONRY UNITS FOR 20% STONE.



SITE PLAN SIGNATURE BLOCK  
APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_, \_\_\_\_  
WITNESSED OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_, \_\_\_\_  
PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

SEAL:

BLUE FIN DESIGN, LLC  
Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2024.10.17  
DRAWN BY: WLI

EXTERIOR ELEVATIONS - COLOR

DRAWING NUMBER:  
**AS211**

SCALE: AS INDICATED



**NORTHWEST PERSPECTIVE/RENDERING - VIEW FROM STATE HIGHWAY 276**



**SOUTHWEST PERSPECTIVE/RENDERING - VIEW FROM STATE HIGHWAY 205**

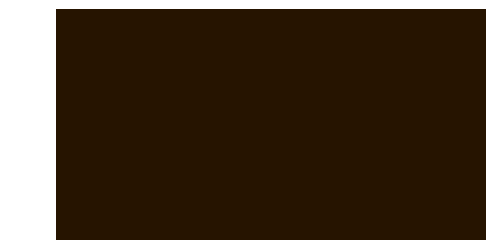
**FINISH LEGEND - MATERIAL BOARD:**



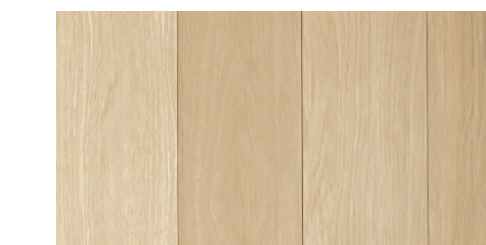
(CCMU-1):  
CUSTOM CONCRETE MASONRY UNIT  
MFR: FEATHERLITE  
FINISH: LIMESTONE  
MORTAR: TBD



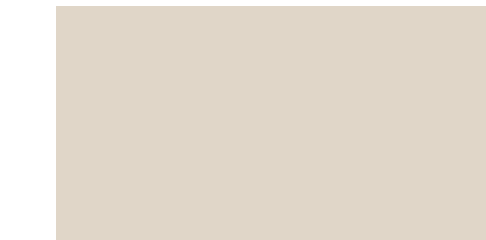
(CCMU-2):  
CUSTOM CONCRETE MASONRY UNIT  
MFR: FEATHERLITE  
FINISH: GRAY  
MORTAR: TBD



STOREFRONT SYSTEM:  
MFR: KAWNEER OR EQUAL  
FINISH: DARK BRONZE ANODIZED



(SOFFIT):  
SOFFIT MATERIAL  
MFR: MAC METAL  
COLLECTION: HARRYWOOD  
FINISH: CORK



(EPT-1):  
EXTERIOR PAINT  
MFR: SHERWIN WILLIAMS  
FINISH: SW7516 KESTREL WHITE



(EPT-2):  
EXTERIOR PAINT  
MFR: SHERWIN WILLIAMS  
FINISH: SW7024 FUNCTIONAL GRAY



(EPT-3):  
EXTERIOR PAINT  
MFR: SHERWIN WILLIAMS  
FINISH: SW7048 - URBANE BRONZE

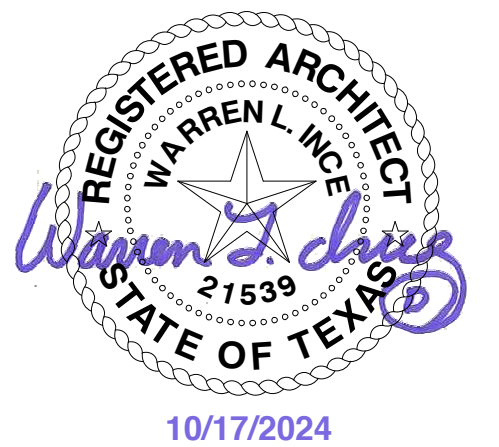


BFD #: 24115

**VUE REALTY GROUP, LLC.**  
**ROCKWALL MOB**

STATE HIGHWAY 205 AND STATE HIGHWAY 276  
BYPASS  
ROCKWALL, TEXAS

SEAL:



BLUE FIN DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2024.10.17

DRAWN BY: WLI

**BUILDING MATERIAL  
SAMPLE BOARD &  
COLOR RENDERINGS**

DRAWING NUMBER:

**AS220**

SCALE: AS INDICATED

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_

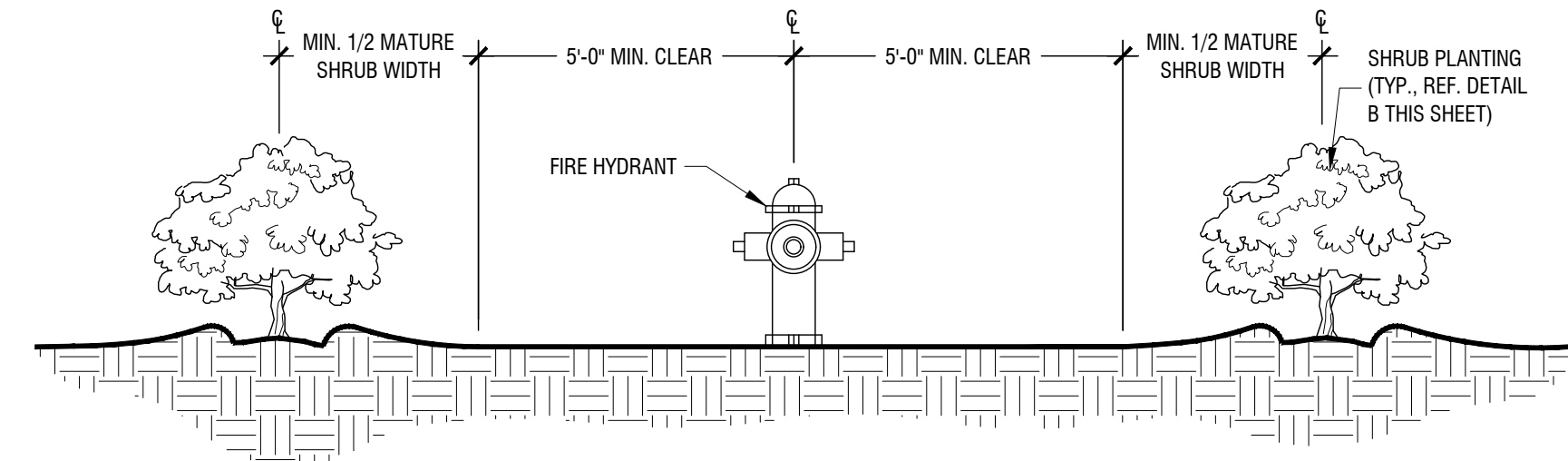
WITNESSED OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING





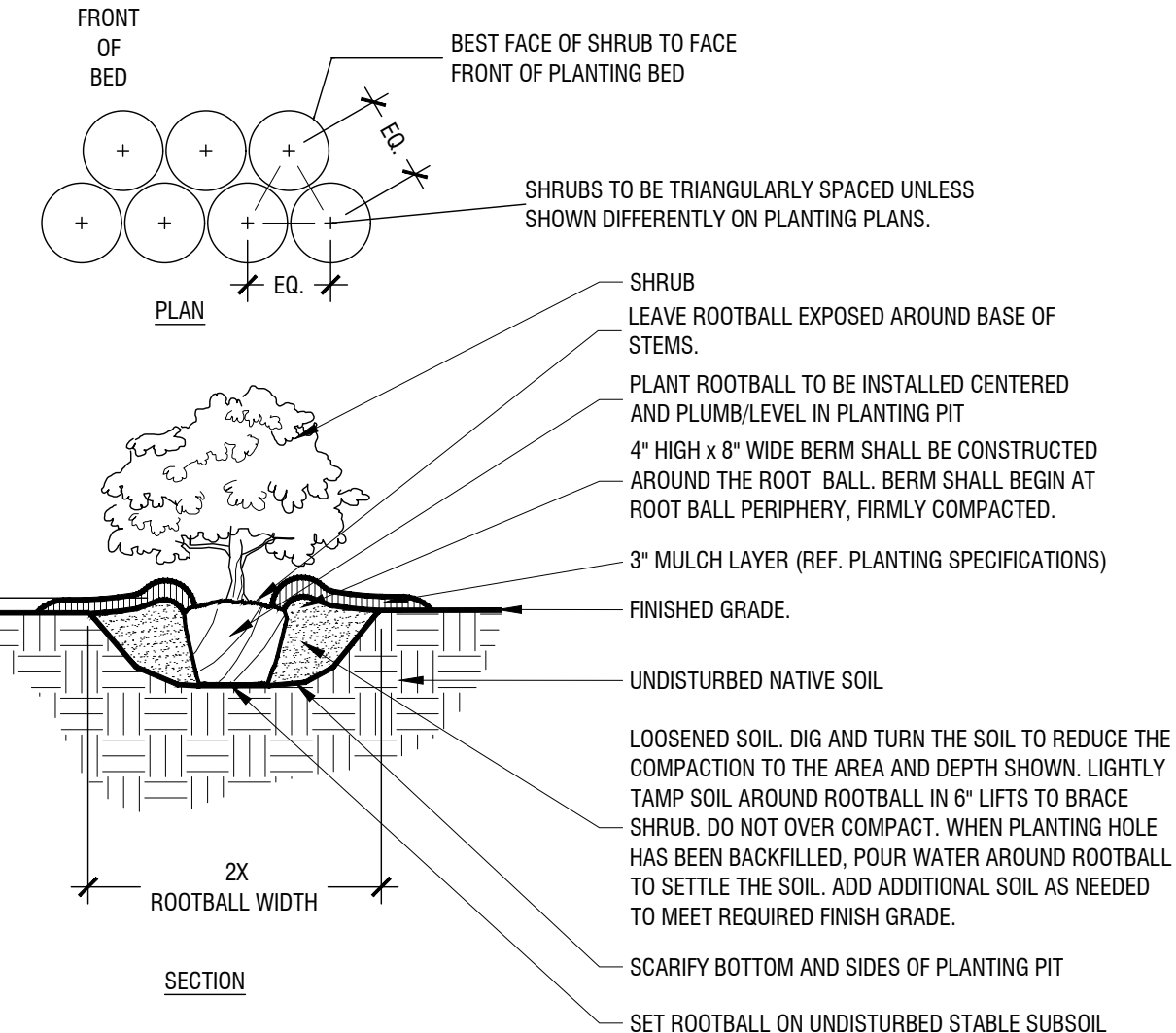
NOTES:  
 1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.  
 2. REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.  
 3. WHEN SHRUBS ARE MASSED TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



Shrub Planting at Fire Hydrant

Scale: NTS

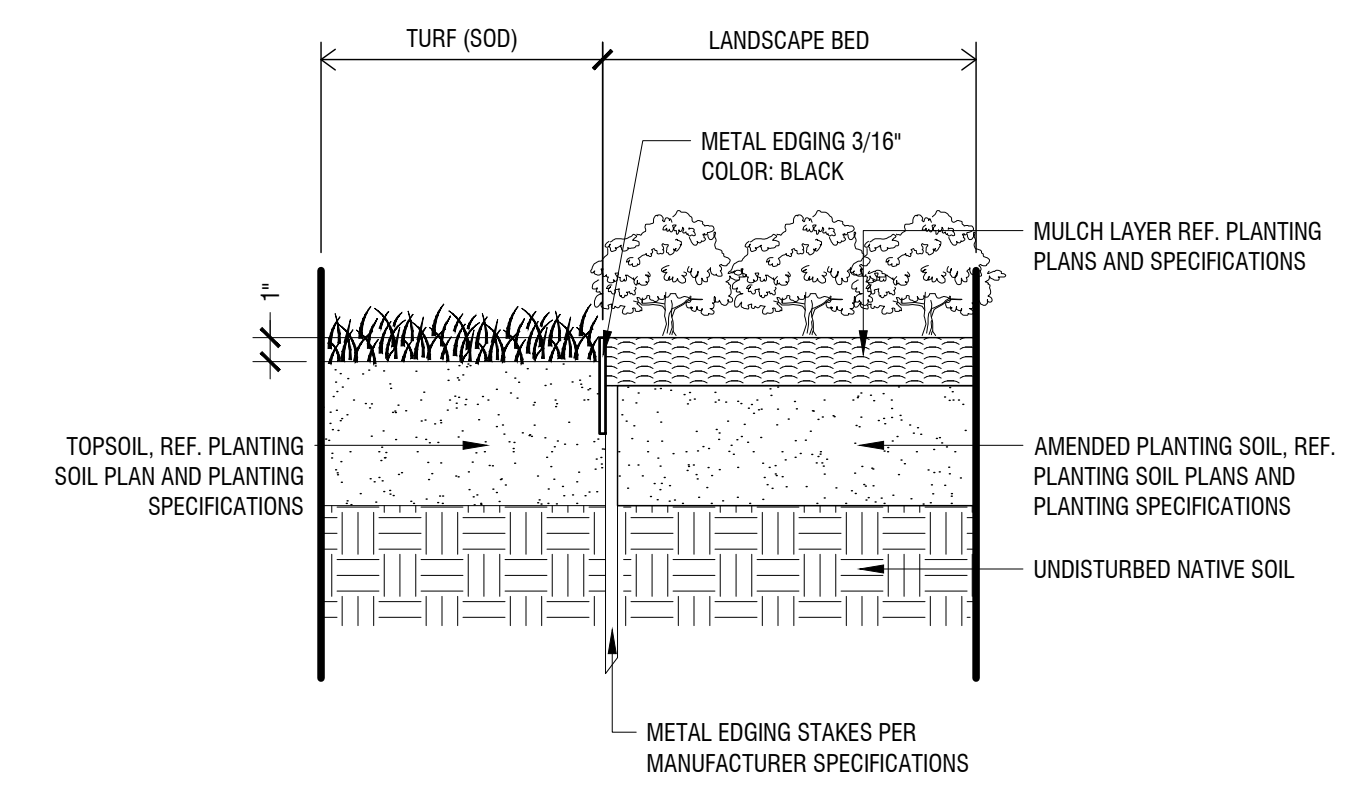
E



Typical Shrub Planting

Scale: NTS

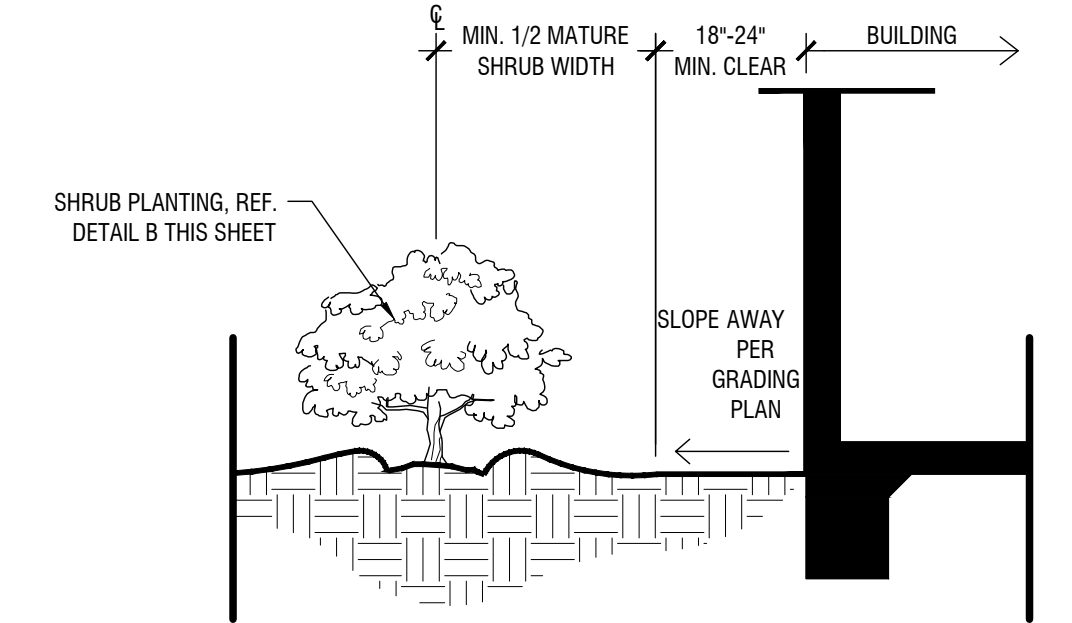
B



METAL EDGING (AT TURF & LANDSCAPE BED)

Scale: 1 1/2" = 1'-0"

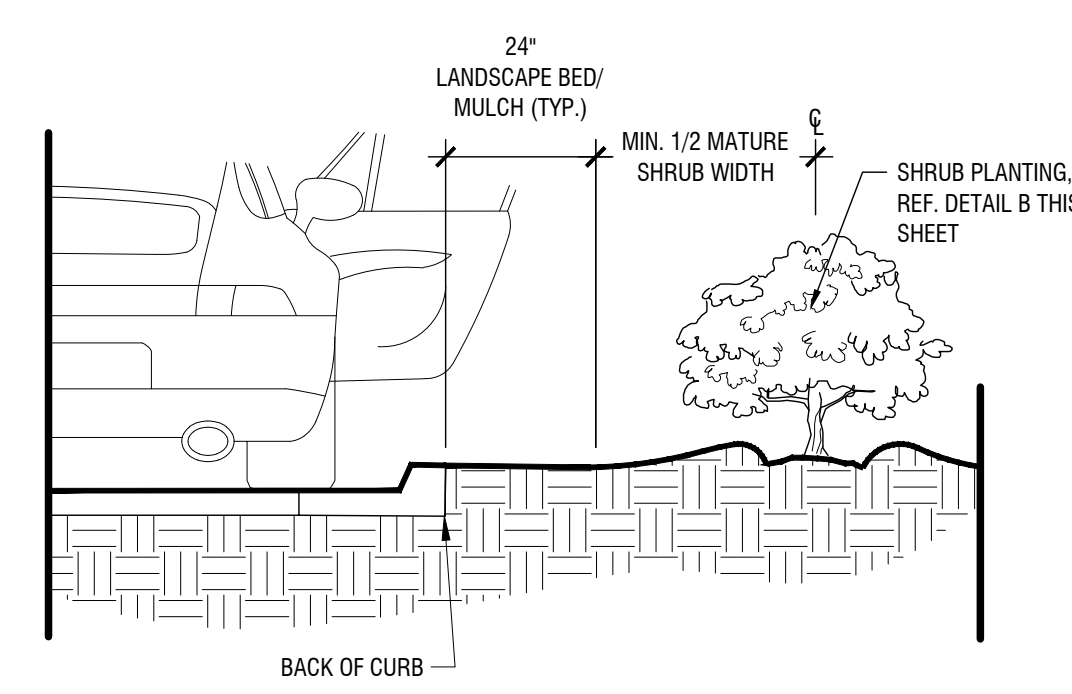
H



Shrub Planting at Building Edge

Scale: NTS

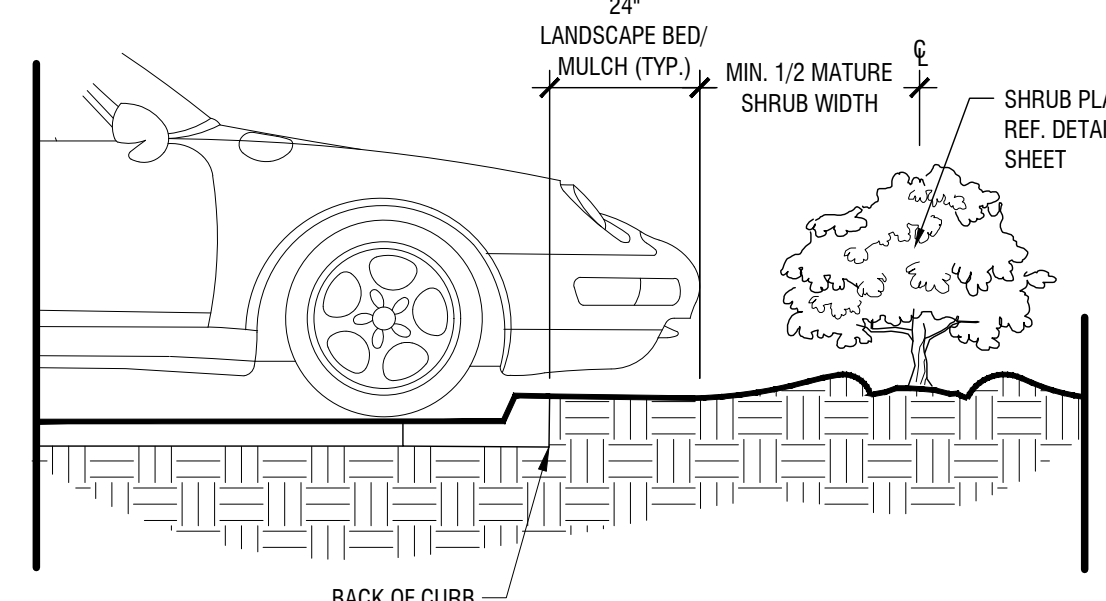
D



Shrub Planting at Curb

Scale: NTS

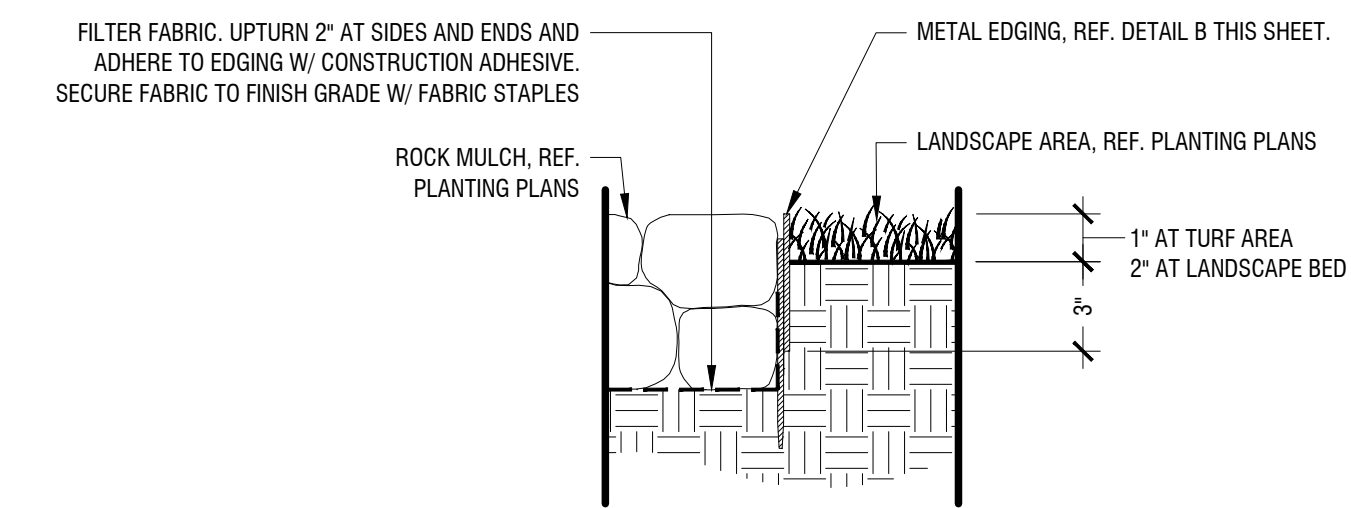
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Shrub Planting at Curb

Scale: NTS

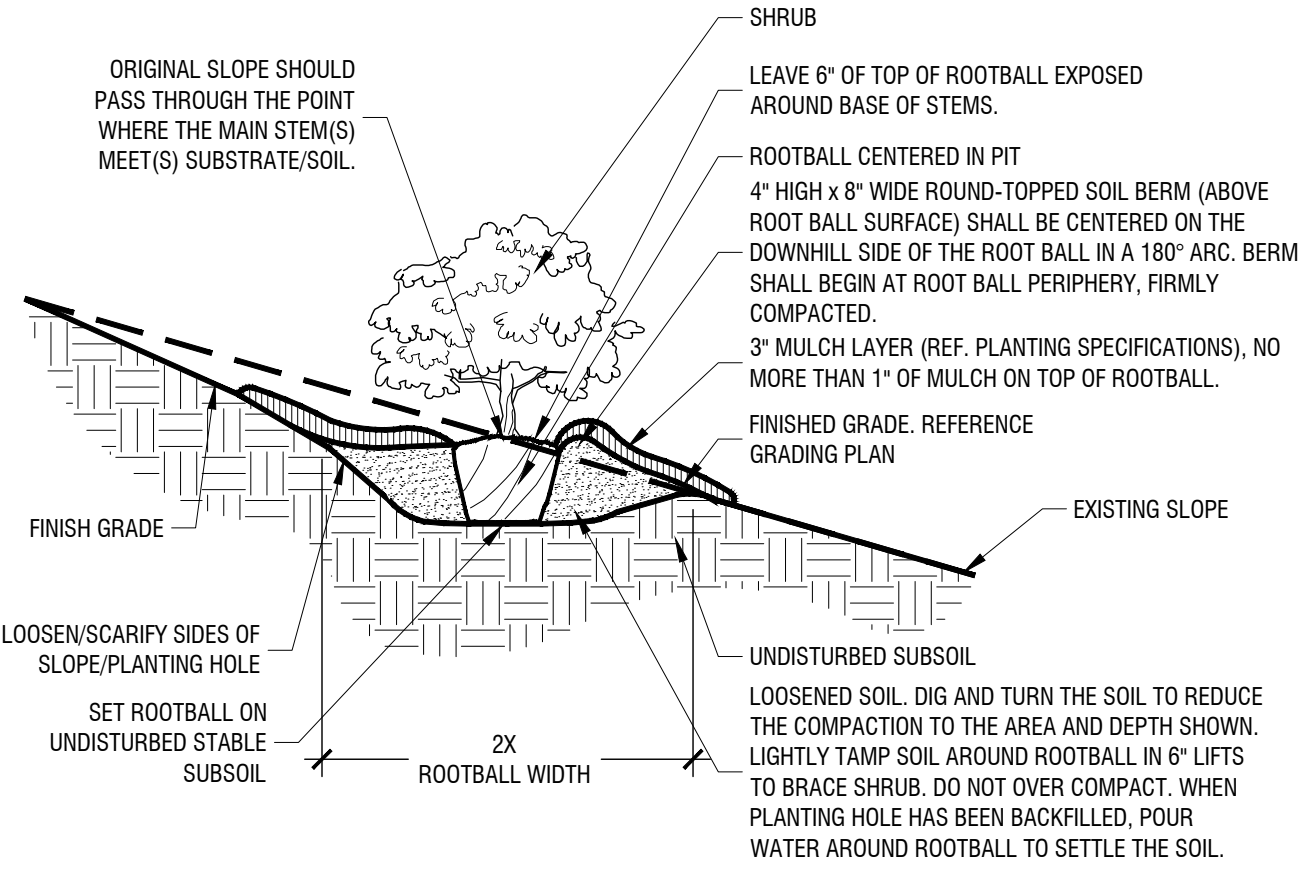
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METAL EDGING (AT ROCK COBBLE BED)

Scale: 1 1/2" = 1'-0"

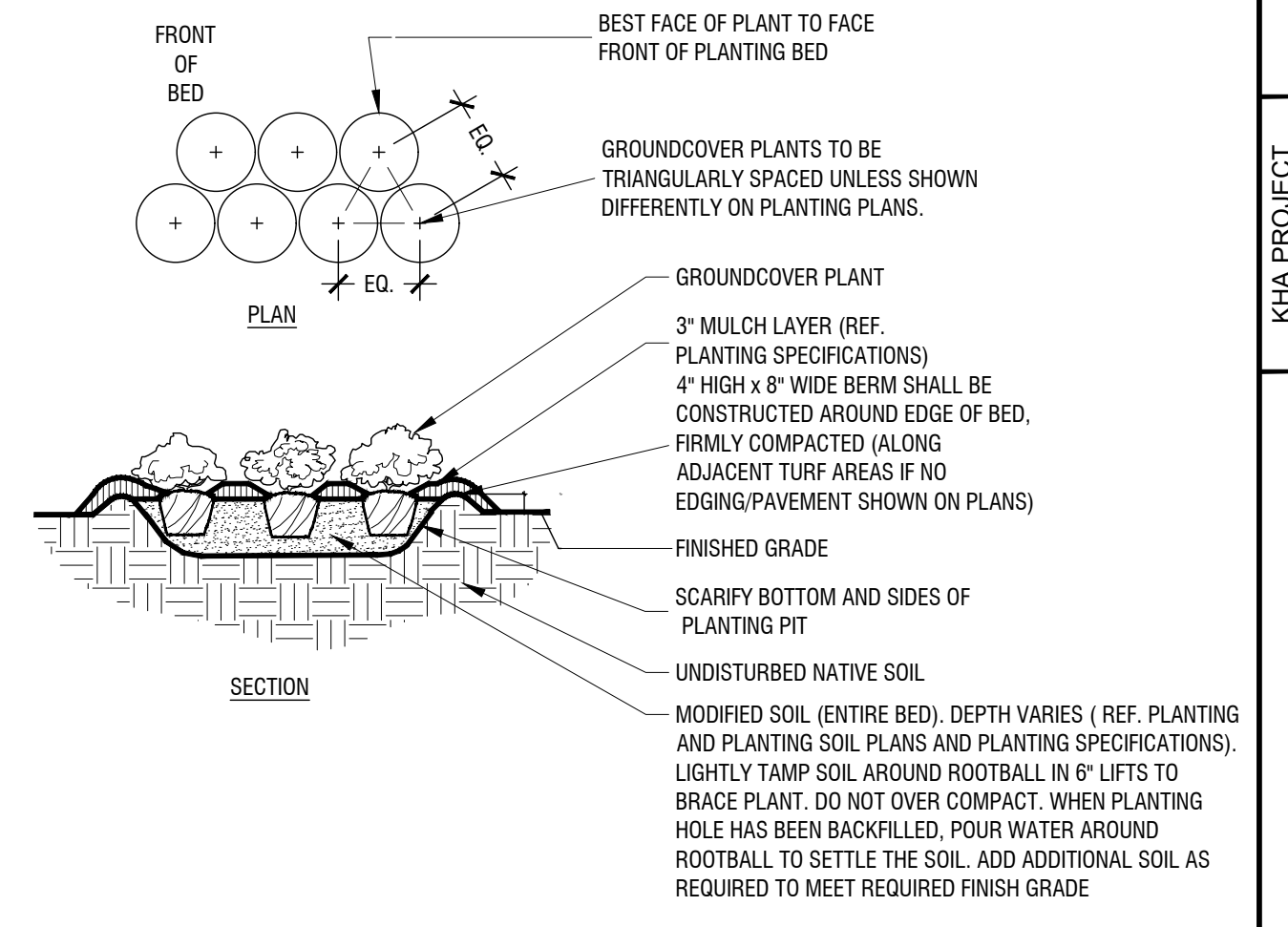
G



Shrub Planting On 5-50% (20:1 TO 2:1) Slope

Scale: NTS

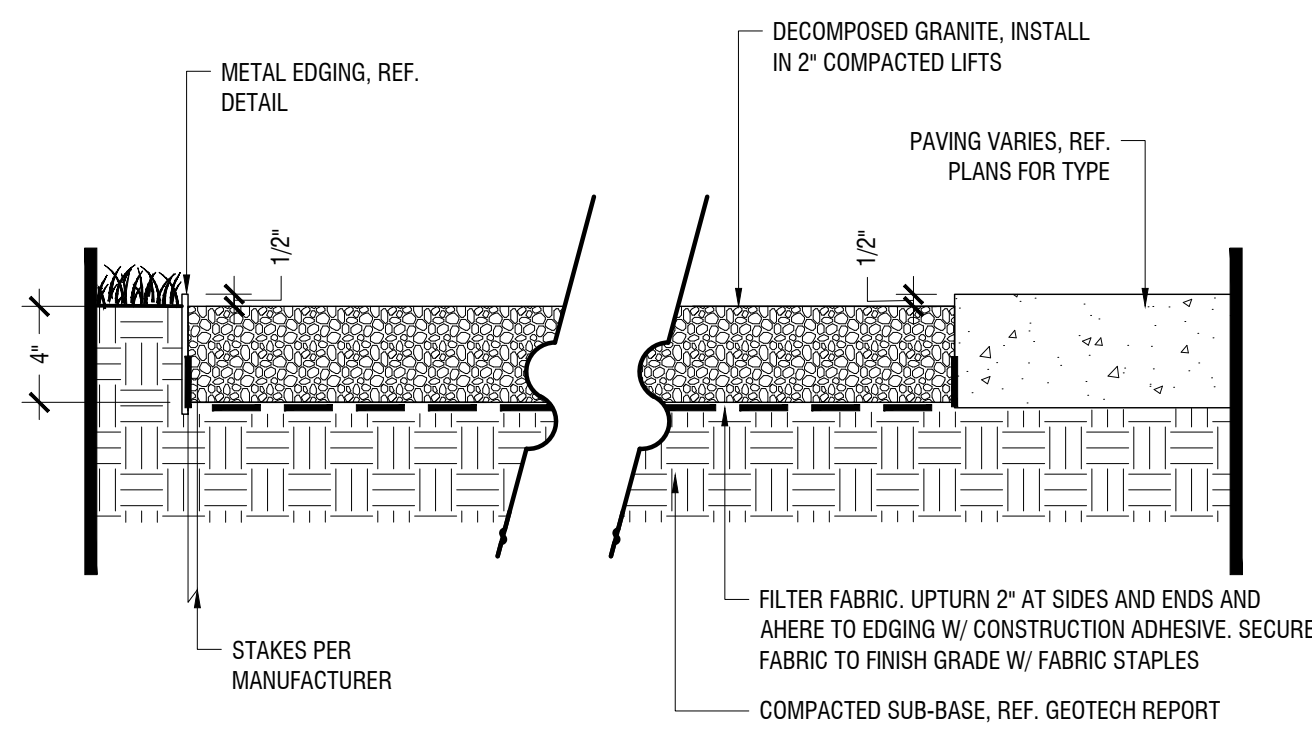
C



Typical Groundcover Planting

Scale: NTS

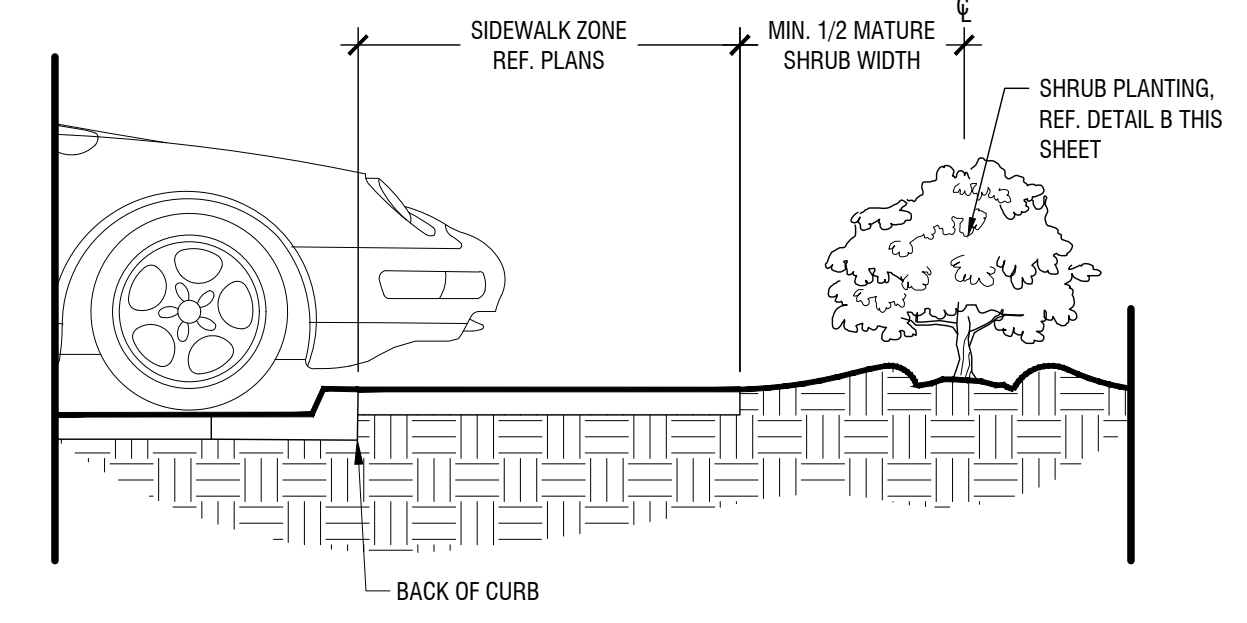
A



Decomposed Granite

Scale: 1 1/2" = 1'-0"

I



Shrub Planting at Sidewalk

Scale: NTS

F

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, \_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, \_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2024-XXX

LANDSCAPE DETAILS FOR ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CURRENT ZONING: PD-10 PROPOSED LAND USE: MEDICAL BUILDING

OCTOBER 18, 2024

ENGINEER / SURVEYOR: KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160 PHONE: (972) 568-4263 CONTACT: MATT LUCAS, P.E.  
 OWNER: VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75251 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE  
 APPLICANT: VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE  
 ARCHITECT: BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 PHONE: (855) 228-7440 CONTACT: WARREN L. INCE

LANDSCAPE DETAILS

SHEET NUMBER LP 3.02

Kimley-Horn & Associates, Inc. 13455 NOEL RD. TWO GALLERIA OFFICE TOWER SUITE 700 DALLAS, TX 75240 PHONE: 972-770-1300 FAX: 972-239-3820 WWW.KIMLEY-HORN.COM TX F-928 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.

FOR REVIEW ONLY Not for construction or permit purposes. Kimley-Horn & Associates, Inc. P.L.A. No. 3454 Date: 10/17/2024

KHA PROJECT: 060016600 DATE: 10/17/2024 SCALE: AS SHOWN DESIGNED BY: KAE DRAWN BY: KAE CHECKED BY: NBA

ROCKWALL MEDICAL BUILDING PREPARED FOR VUE REAL ESTATE CITY OF ROCKWALL, TX

NO.	REVISIONS	DATE	BY

IMAGES: © SHUTTERSTOCK.COM  
 PLOTTED BY: ELIZABETH KYLE 10/17/2024 11:02 AM  
 LAST SAVED: 10/17/2024 11:00 AM  
 PLOT DATE: 10/17/2024 11:02 AM  
 DWG NAME: LP 3.02.DWG  
 This document, together with the concepts and design presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of any information contained herein without the written consent of Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

PLANT SCHEDULE

Table with columns: SYMBOL, CODE, QTY, BOTANICAL / COMMON NAME, SPECIFICATIONS, REMARKS. Includes sections for TREES, ORNAMENTAL TREE, SHRUBS, GRASSES, GROUND COVERS, and MULCH.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

PLANTING NOTES

- 1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT.
3. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS.
4. REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
5. STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED.
6. PLANTS MASSSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
7. PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH.
9. PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS OF DISTURBANCE OUTSIDE R.O.W.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE.
11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
12. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED.
13. ALL LANDSCAPE BEDS TO HAVE TOPSOIL/BEDDING MIX THAT MEETS LANDSCAPE SPECIFICATIONS.
14. ALL SOD GRASSES TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION.
15. ALL DISTURBED AREAS IN R.O.W. TO BE RE-ESTABLISHED WITH BERMUDA SEED OR SOD.
16. ALL TREES TO BE PLACED A MINIMUM OF 4' FROM ANY UTILITY.

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

- A. SCOPE OF WORK
1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.
B. PROTECTION OF EXISTING STRUCTURES
ALL EXISTING BUILDINGS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED.
C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING ON THE PROPERTY CAUSED BY CARELESS DRIVING OR EQUIPMENT.
D. MATERIALS
1. GENERAL
SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER.
2. PLANT MATERIALS
A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS.
B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION.
C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE.
E. TOPSOIL
1. ASTM D2926, NATURAL, FRAGILE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH.
2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS.
3. VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED.
4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.
5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 INCHES DEEP.
6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS.
7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL.
8. AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.
a. ORGANIC SOIL AMENDMENTS
1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 2% PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS.
2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.
3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.
b. INORGANIC SOIL AMENDMENTS
1. LIME: ASTM C262, CLASS 0 AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 50 PERCENT PASSING NO. 20 SIEVE.
2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.
3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT PASSING NO. 40 SIEVE.
4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM SULFATE.
5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.
c. PLANTING SOIL MIX
1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MIMICK MATERIALS OR APPROVED EQUAL.
2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL, MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND.
3. PLANTING DETAILS (12" MIN) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
d. SOD SEED AREA TOPSOIL
ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION.
e. SHRUBS AND TREES - MARGARITE, OR APPROVED EQUAL
1. SHRUBS AND TREES - MARGARITE, OR APPROVED EQUAL
2. SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION.
f. MULCH
MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A DEPTH OF 3 INCHES.
K. MULCH
MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL AND GRADE.

L. DIGGING AND HANDLING

- 1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING.
2. BALLED AND BURLEPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS.
3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS.
4. PROTECTION OF PALMS (IF APPLICABLE): A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING.
5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDCAPE ELEMENTS.
M. CONTAINER GROW MATERIAL
1. ALL CONTAINER GROW MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOWN.
2. AN ESTABLISHED CONTAINER GROW PLANT SHALL BE TRANSPORTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.
3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE.
4. SUBSTITUTION OF NON-CONTAINER GROW MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT.
N. COLLECTED STOCK
WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZE OF ROOTBALL SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.
O. NATIVE STOCK
PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A PERIOD OF FOUR (4) MONTHS.
P. MATERIALS LIST
QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR.
Q. FINE GRADING
1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS.
2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND MULCH DEPTH.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
R. PLANTING PROCEDURES
1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS, LINES AND TANKS, WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE.
3. SURGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIKEROCK AND UNDERLAYER SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36".
4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED.
5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS.
7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 289-1.
8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS.
10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE.
11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED.
12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS.
13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST.
14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE DRAWINGS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION.
15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PIT.
16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK.
17. INSPECTION AND ACCEPTANCE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE.
18. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF HIS INTENTIONS AND AGREE TO HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PROPERTY OR PERSON.

S. LAWN SODDING

- 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETION IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.
2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS.
3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP TO THE REQUIRED GRADE.
4. SODDING
A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS.
B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS.
C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA.
D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN.
E. PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE.
F. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES.
G. DO NOT PERFORM SEEDING IN WINDY CONDITIONS.
H. SEEDING SHALL BE DISPENSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.
I. PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS.
J. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET.
K. SURFACE LAYER OF SOIL FOR SEEDING AREAS SHALL BE KEPT MOIST DURING GERMINATION PERIOD.
L. CONTRACTOR TO REPLY TO OWNER'S REQUEST FOR INFORMATION.
M. LAWN MAINTENANCE: WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN.
N. PLANT MATERIAL MAINTENANCE: ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS SUCH AS RESTAINING OR REPAIRING GUY SUPPORTS NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.
O. MAINTENANCE (ALTERNATE BID ITEM): CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.
P. GUARANTEE: THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.
Q. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT.
R. FINAL INSPECTION AND ACCEPTANCE OF WORK: FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD ON ANY PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT.
S. APPLICANT: VUE REAL ESTATE

SITE PLAN SIGNATURE BLOCK

I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2024-XXX

LANDSCAPE SPECIFICATIONS AND NOTES FOR ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CURRENT ZONING: PD-10 PROPOSED LAND USE: MEDICAL BUILDING

OCTOBER 18, 2024

ENGINEER / SURVEYOR KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE

APPLICANT VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE

ARCHITECT BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 1008 AUSTIN, TX 78728 PHONE: (855) 728-7460 CONTACT: WARREN L. INCE

Kimley»Horn logo and contact information: 13455 NOEL RD. TWO GALLERIA OFFICE TOWER SUITE 700 DALLAS, TX 75240 PHONE: 972-770-1900 FAX: 972-239-3820 WWW.KIMLEY-HORN.COM TX F-928 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.

Kimley»Horn logo and contact information: FOR REVIEW ONLY Not for construction or permit purposes. P.L.A. N. 0831A IS ADAMS L.A. No. 3464 Date: 10/19/2024

Table with columns: KHA PROJECT, DATE, SCALE, DESIGNED BY, DRAWN BY, CHECKED BY. Values: 060016000, 10/17/2024, AS SHOWN, KAE, KAE, NBA.

ROCKWALL MEDICAL BUILDING PREPARED FOR VUE REAL ESTATE CITY OF ROCKWALL, TX

LANDSCAPE SPECIFICATIONS AND NOTES

SHEET NUMBER LP 3.03

DATE PLOTTED: 10/17/2024 11:02 AM PLOTTED BY: JEFF BROCKETTE PLOT FILE: \\P01\WORK\110204\110204001\110204001.dwg USER: JEFF BROCKETTE

REVISIONS DATE BY







**GENERAL NOTES**

1. THE SITE LIGHTING LAYOUT AND PHOTOMETRICS ARE FOR SITE DEVELOPMENT REVIEW ONLY AND NOT FOR BIDDING OR CONSTRUCTION.
2. PHOTOMETRICS AND SITE LIGHTING LAYOUT ARE SUBJECT TO CHANGE. FINAL BIDS HAVE NOT BEEN RECEIVED. LIGHTING MANUFACTURERS ARE SUBJECT TO CHANGE BASED ON THE BIDS RECEIVED. THE LIGHTING FIXTURES SPECIFIED ARE USED AS A BASIS OF DESIGN AND ARE SUBJECT TO CHANGE.
3. LIGHT SOURCES SHALL BE COMPLETELY CONCEALED WITHIN OPAQUE HOUSINGS AND SHALL NOT BE VISIBLE FROM ADJACENT STREETS OR PROPERTIES.
4. ALL EXTERIOR LIGHTING FIXTURES SHALL BE FULL CUT OFF.
5. LIGHTING FIXTURES SHALL BE MOUNTED IN SUCH A MANNER THAT THE CONE OF LIGHT IS CONTAINED ON SITE AND DOES NOT CROSS ANY PROPERTY LINE OF THE SITE.

**STATE HIGHWAY 276 BYPASS  
(PRIMARY BUILDING FACADE ZONE)**



BFD # 24115

VUE REALTY GROUP, LLC.

ROCKWALL MOB

STATE HIGHWAY 205 AND STATE  
HIGHWAY 276 BYPASS  
ROCKWALL, TEXAS

SEAL:

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF E.G. LOPEZ DEL CASTILLO, P.E., REG. #58483 ON 10/17/24. IT IS NOT TO BE USED FOR BIDDING, PERMIT OR CONSTRUCTION.

BLUE FIN DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2024.10.17

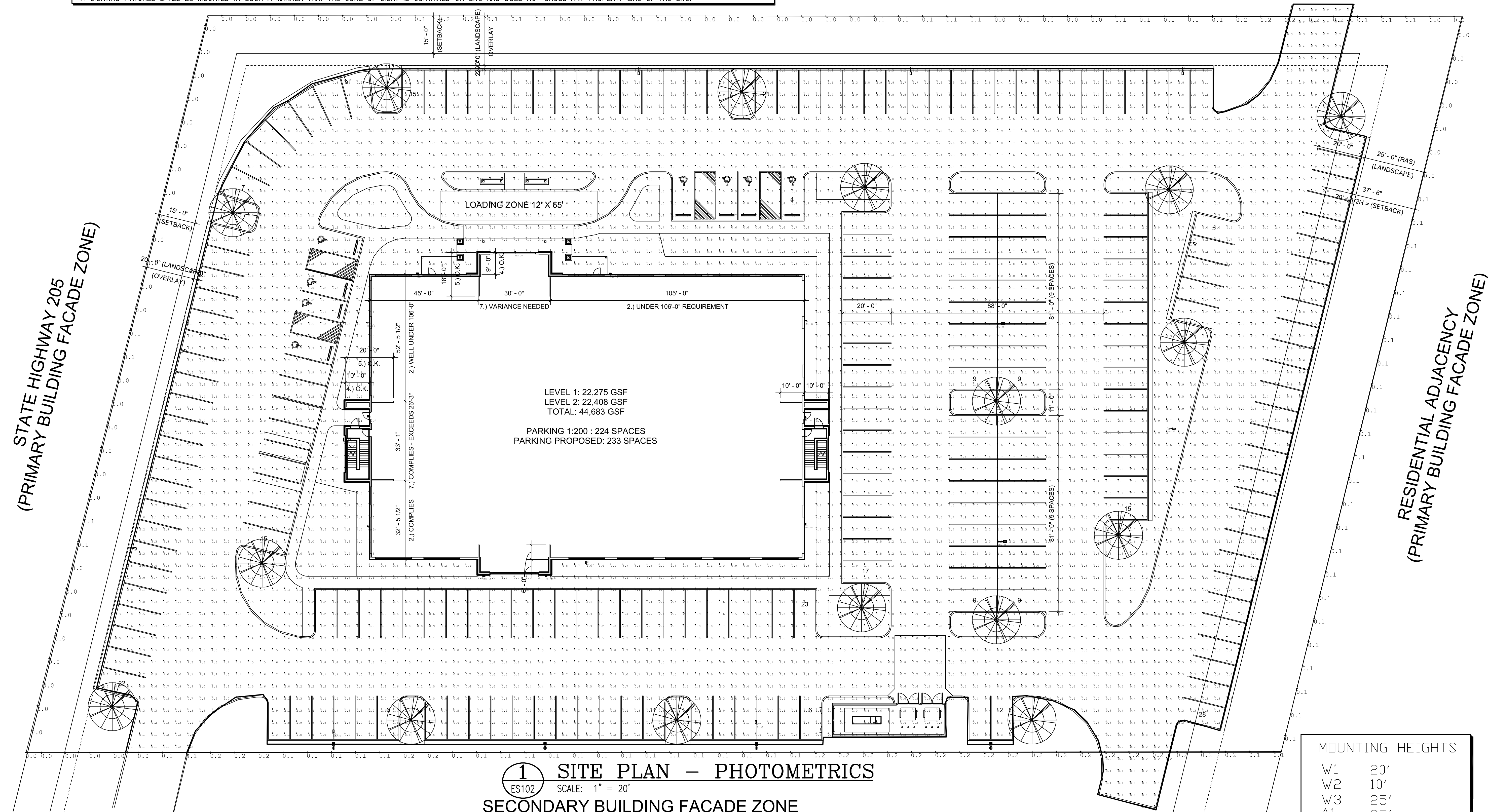
DRAWN BY: Author

**SITE PLAN -  
PHOTOMETRICS**

DRAWING NUMBER:

ES102

SCALE: AS INDICATED



**1 SITE PLAN - PHOTOMETRICS**  
ES102 SCALE: 1" = 20'  
**SECONDARY BUILDING FACADE ZONE**

Symbol	Tag	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
W2	W2	6	7075-08-C13-35K	Single	7075-08-TW-C13-35K	0.950	1161	12.35	74.1
A3	A3	6	OPF-M-A11-830-BLC	Single	OPF-M-A11-830-BLC	0.950	13798	131	786
W1	W1	5	WFA-3 38W 4000K	Single	OPF-M-A11-830-T2M	0.950	6030	36.68	183.4
A2	A2	2	OPF-M-A08-830-BLC	Single	OPF-M-A11-830-T2M	0.950	8023	74.41	148.82
A1	A1	2	OPF-M-A11-830-T2M	Single	OPF-M-A11-830-T2M	0.950	19790	131	262
A4	A4	2	OPF-M-A11-830-T5W	Single	OPF-M-A11-830-T5W	0.950	19606	131	262
W3	W3	1	OPF-M-A11-830-T2M 1	Single	OPF-M-A11-830-T2M	0.950	19790	131	131

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
LIGHT TRESPASS	Illuminance	Fc	0.08	0.2	0.0	N.A.	N.A.
PARKING Planar	Illuminance	Fc	1.75	7.2	0.1	17.50	72.00

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, \_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, \_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING